



Know what's below
Call before you dig

SAN	- SANITARY	— G —	- GAS LINE
ST	- STORM	— W —	- WATER LINE
MH	- MANHOLE	— T —	- SUBSURFACE TELEPHONE LINE
TOP	- TOP OF CASTING	— E —	- SUBSURFACE ELECTRIC LINE
INV	- INVERT / FLOW LINE	— OH —	- OVERHEAD WIRES
WV	- WATER VALVE	— 908 —	- EXISTING CONTOURS
GV	- GAS VALVE		- EXISTING INLET
GM	- GAS METER	== == ==	- EXISTING MANHOLE
EM	- ELECTRIC METER	— X — X —	- EXISTING SEWER
S.R.	- STATE ROUTE		
TELE	- TELEPHONE		
RCP	- REINFORCED CONCRETE PIPE		
CPP	- CORRUGATED PLASTIC PIPE		

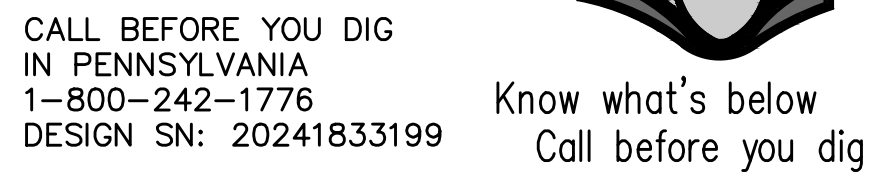
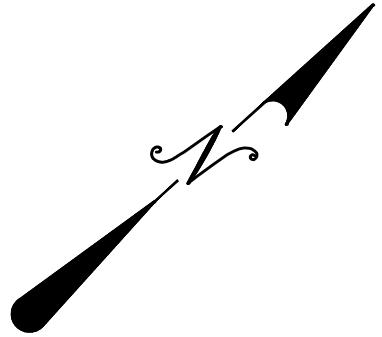
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THE LOCATION OF EXISTING UTILITIES WERE TAKEN FROM RECORDS AND MARKING PROVIDED BY OTHERS AND OBSERVED EVIDENCE. THE LOCATIONS SHOWN MAY BE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS, SIZES AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CARE TO AVOID DAMAGE TO ALL EXISTING UTILITIES.

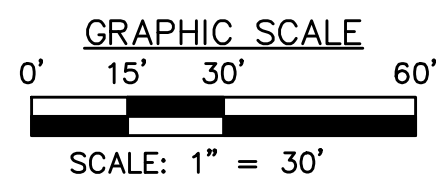
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EXISTING CONDITIONS PLAN CHURCH VIEW SENIOR RESIDENCES <i>prepared for</i> WESTMORELAND COUNTY HOUSING AUTHORITY <i>situated in</i> MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA SHEET NO. C100	MKA Morris Knowles & Associates, Inc. (A Hammonree Company) <i>Consulting Engineers and Land Surveyors</i> 443 Athena Drive Pittsburgh, PA 15206 Telephone: (412) 488-4622 Fax: (412) 488-4623 www.BPfrfrfrknowles.com info@morrisknowles.com	SCALE:	DESIGNED BY: SPP	REVISION BY: _____	DATE: _____	DESCRIPTION: _____
		1" = 30'	REVIEWED BY: WPU	REVISION BY: _____	DATE: _____	DESCRIPTION: _____
			DRAWN BY: SPP	REVISION BY: _____	DATE: _____	DESCRIPTION: _____
			DATE: DECEMBER 2024	REVISION BY: _____	DATE: _____	DESCRIPTION: _____
			PROJ. NO.: 1885.10	REVISION BY: _____	DATE: _____	DESCRIPTION: _____
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1. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS.
2. THE CONTRACTOR SHALL INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
3. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL APPLICABLE UTILITY PERMITS, GRADING PERMITS, BUILDING PERMITS. APPLICATION FEES WILL BE BY OWNER.
4. SITE CONTRACTOR SHALL COORDINATE WITH ELECTRICAL AND PLUMBING CONTRACTOR FOR UTILITY CONNECTION POINTS.
5. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL 6" ROOF LEADERS FROM DOWNSPOUTS TO STORM DRAINAGE CONNECTION POINTS AS SHOWN ON THE PLAN.
6. ALL SIDEWALKS SHALL BE NO GREATER THAN 2% CROSS SLOPES, OR 5% LONGITUDINAL SLOPES.
7. CONCRETE PAVEMENT WITHIN HANDICAP PARKING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.
8. PARKING LOT SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE TO STORM DRAINAGE STRUCTURES.
9. CONCRETE TRANSFORMER PAD & HAVAC UNITS. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR REQUIREMENTS AND SIZING. SHOP DRAWINGS SHALL BE SUBMITTED TO RESPECTIVE AUTHORITY FOR CONFORMANCE.
10. SITE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, INGRESS/EGRESS ACCESS DOORS TO BUILDING, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS.



THE GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED IN THE SITE NO MORE TEN DAYS AND NO LESS THAN THREE DAYS IN ADVANCE OF EXCAVATION (PA ACT 287 OF 1974 AMENDED BY ACT 50 OF 2018). PA STATE LAW REQUIRES 3 WORKING DAYS NOTICE



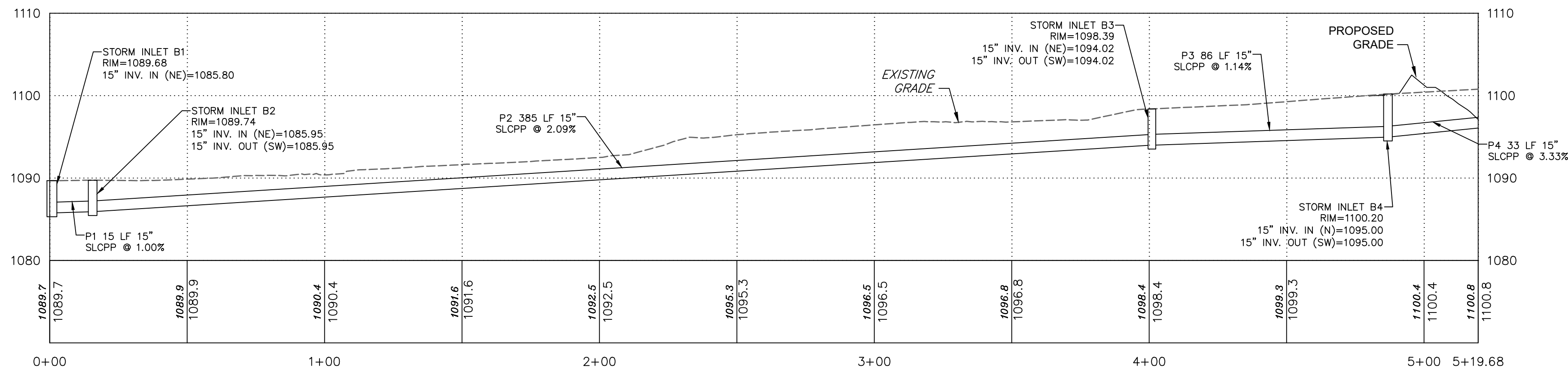
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SITE LAYOUT PLAN CHURCH VIEW SENIOR RESIDENCES <i>prepared for</i> WESTMORELAND COUNTY HOUSING AUTHORITY <i>situated in</i> MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA	MA Morris Knowles & Associates, Inc. (A Hammontree Company) <i>Consulting Engineers and Land Surveyors</i> Athens, PA 15826 Darien, PA 15826 Telephone: (724) 485-4622 Fax: (724) 485-4622 info@morrisknowles.com www.pgsris.knowles.com	SCALE:	DESIGNED BY: WPU	REVISION BY: _____	DATE: _____	DESCRIPTION: _____
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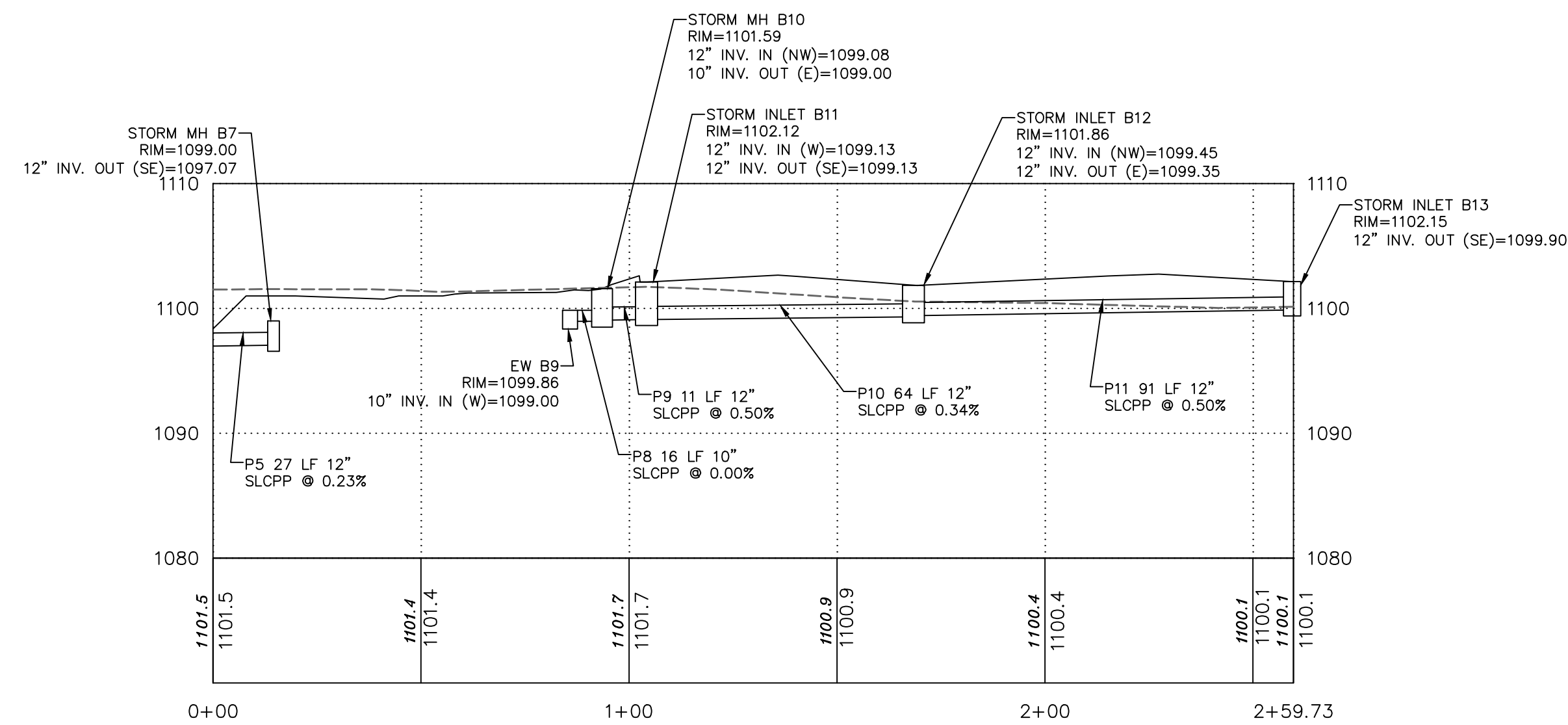
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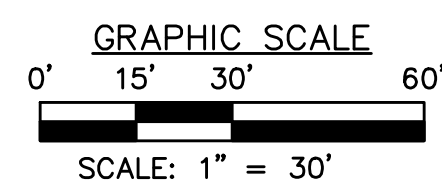
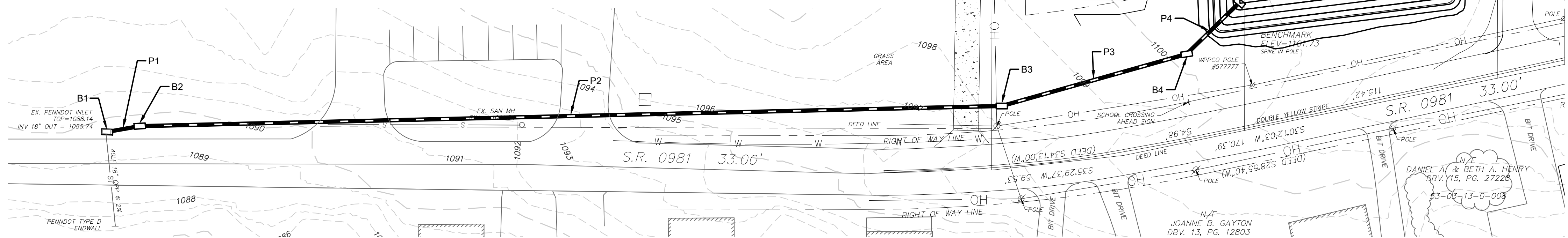
Storm Drainage Outfall PROFILE — STA. 0+00 TO STA. 5+20
HORIZ SCALE: 1"=30'
VERT SCALE: 1"=10'

Storm Pipe Table			
Pipe Name	Size	Length	Slope
P1	15"	15FT	1.00%
P2	15"	385FT	2.09%
P3	15"	86FT	1.14%
P4	15"	33FT	3.33%
P5	12"	13FT	0.05%
P6	15"	41FT	0.75%
P7	12"	40FT	6.55%
P8	12"	13FT	0.60%
P9	12"	11FT	0.50%
P10	12"	64FT	0.50%
P11	12"	91FT	0.50%

Storm Structure Table					
STRUCTURE	TYPE	RIM	INVERT IN	INVERT OUT	INVERT OUT
B1	INLET	1089.7	1085.80	1085.74	
B2	INLET	1089.7	1085.95	1085.95	
B3	INLET	1098.4	1094.02	1094.02	
B4	INLET	1100.2	1095.00	1095.00	
B5	INLET	1100.8		1096.10	
B6	ENDWALL			1097.00	
B7	MANHOLE	1101.8	1097.17	1097.07	
B8	MANHOLE	1102.0	1097.50	1097.48	
B9	ENDWALL			1199.00	
B10	MANHOLE	1102.3	1099.08	1199.08	1100.10
B11	INLET	1102.1	1099.13	1099.13	
B12	INLET	1101.9	1099.45	1099.45	
B13	INLET	1102.1	1099.90		



Storm Drainage PROFILE — STA. 0+00 TO STA. 2+60
HORIZ SCALE: 1"=30'
VERT SCALE: 1"=10'



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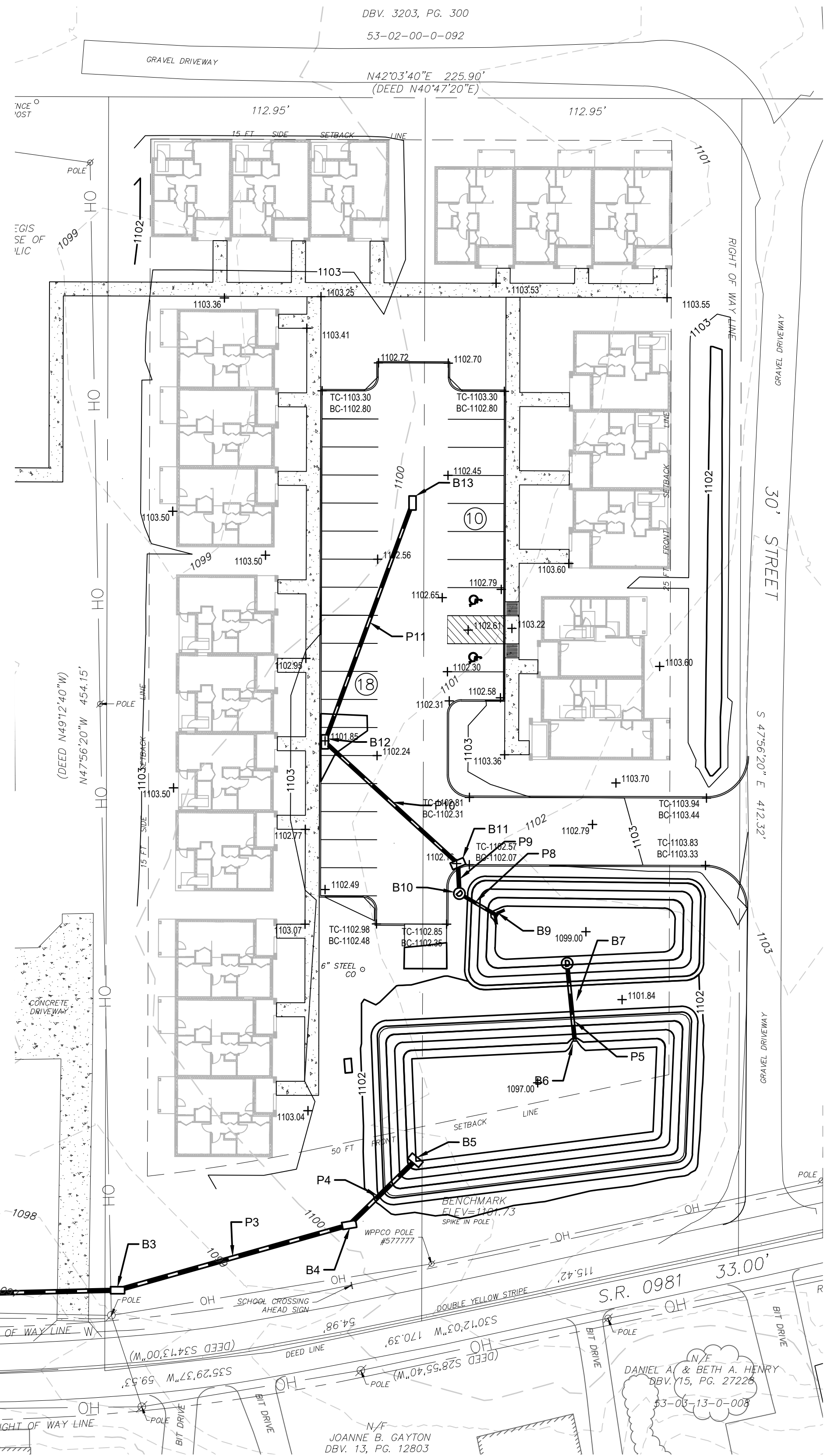
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MA **Morris Knowles & Associates, Inc.**
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DRAINAGE PLAN
CHURCH VIEW SENIOR RESIDENCES
located in
WESTMORELAND COUNTY HOUSING AUTHORITY
situated in
PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA

SHEET NO.
C301

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