CHURCH VIEW COMMONS

SITUATE

FOR

MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA

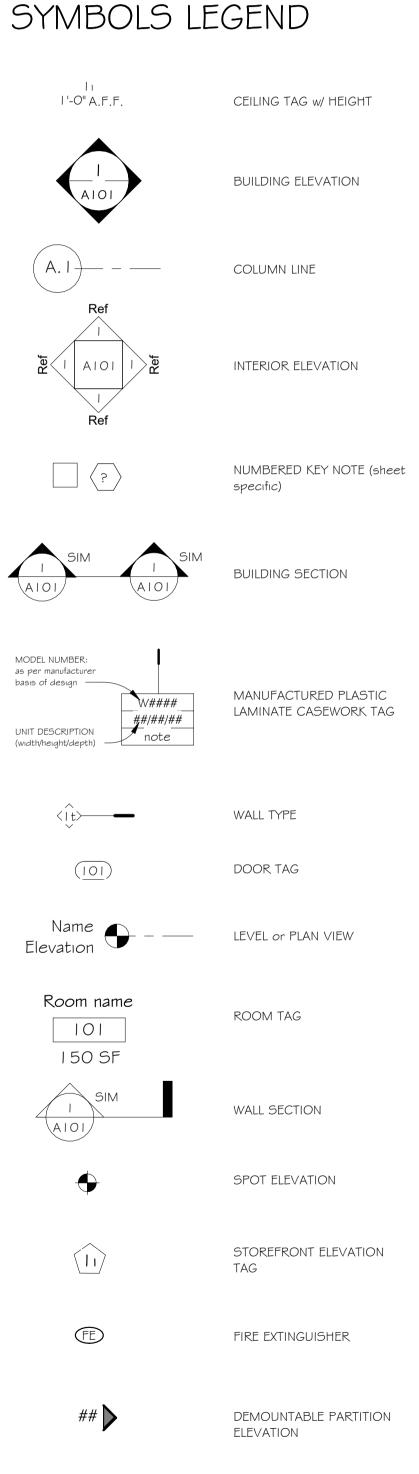
WESTMORELAND NON-PROFIT HOUSING CORPORATION

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Drawing #	Drawing Title
C5100	COVER SHEET
C200	SITE LAYOUT PLAN
C300	SITE GRADING PLAN
C301	DRAINAGE PLAN
A00 I	GENERAL NOTES, ABBREVIATIONS, AND LEGEND
AIOI	FOUNDATION PLANS
A102	FIRST FLOOR PLANS
A103	ROOF PLANS
A201	BUILDING ELEVATIONS - BUILDING TYPES A AND B
A202	BUILDING ELEVATIONS - 4-UNIT BUILDING
A301	TYPICAL BUILDING SECTIONS
A302	TYPICAL WALL SECTIONS
A501	TYPICAL ONE BEDROOM ACCESSIBLE UNIT
A502	TYPICAL TWO BEDROOM ACCESSIBLE UNIT
A503	TYPICAL ONE BEDROOM UNIT
A504	TYPICAL TWO BEDROOM UNIT
A60 I	DOOR ELEVATIONS AND SCHEDULE / WINDOW ELEVATIONS AND SCHEDULE
MIOI	MECHANICAL ONE & TWO BEDROOM UNITS - MODIFICATION PLANS
M102	MECHANICAL UFAS - MODIFICATION PLAN
E102	ELECTRICAL UFAS UNIT - MODIFICATION PLAN
PIOI	PLUMBING ONE \$ TWO BEDROOM UNITS - MODIFICATION PLAN
P102	PLUMBING UFAS UNIT - MODIFICATION PLAN
P60 I	PLUMBING FIXTURE SCHEDULE, RISER DIAGRAMS, AND DETAILS
EIOI	ELECTRICAL ONE \$ TWO BEDROOM UNITS - MODIFICATION PLANS
E601	ELECTRICAL SCHEDULES, DIAGRAMS AND DETAILS

ABBREVIATIONS LEGEND

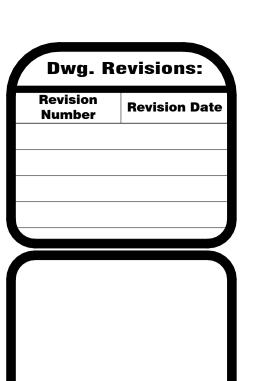
fire department valve

%	percent	F.E.	fire extinguisher	PLBG.	plumbing
<	angle	F.E.C.	fire extinguisher cabinet	PLWD.	plywood
@	at	F.R.	fire-resistant	PNL.	panel
A.C.	air conditioning	FDN.	foundation	PNLG.	paneling
A.C.I.	American Concrete Institute	FIN.	finish (finished)	POL.	polished
A.C.T.	acoustical ceiling tile	FIXT.	fixture	PORC.	percelain
A.F.F.	above finished floor	FL.	floor	PORC. ENAM.	porcelain enamel
A.P.	access panel	FT. (')	feet	PR	pair
A.V.	audio/visual	FTG.	footing	PREFAB.	prefabricated
AC.FIN.	acrylic finish	G.C.	General Contract(or)	PSF	pounds per square foot
ACOUS. ADJ.	acoustic	G.T. GA.	glazed tile	PSI PT	pounds per square inch
ALT.	adjustable alternate	GA. GALV.	gauge galvanızed	PTD	paint painted
ALUM.	aluminum	GDW	gypsum drywall	PVC	polyvinyl chloride
AMT.	amount	GL.	glass or glazing	PVMT	pavement
ANOD	anodized	GL.BLK.	glass block	QT	quarry tile
ANSI	American National Standards Institute	GR.	grade	QTY	quantity
APPROX.	approximately	GRND.	ground	R.	risers (stair)
ARCH	architect(ural)	GROM.	grommet	r.	radius
ASHRAE	American Society of Heating, Refrigeration	GWB	gypsum wall board	R.A.	return air
1015	# Air-Conditioning Engineers	GYP.	gypsum	R.C.	Roofing Contract(or)
ASME	American Society of Mechanical Engineers	H.B.	hose bibb	R.O.	rough opening
ASPH ASTM	asphalt American Society of Testing Materials	H.C.	Heating Contract(or)	R.W.C.	rain water conductor
B.M.	bench mark	H.M. HCP.	hollow metal	RAD. RB	radiator rubber base
B.T.U.	British Thermal Unit	HD.	handıcap(ped) head	RD RD	rubber base roof drain
B.U.	built-up	HDBD.	hardboard	RECP.	receptacle
B.U.R.	built-up roofing	HDWD.	naraboara hardwood	REF.	receptacie refrigerator
B/	bottom/bottom of	HDWE.	hardware	REINF.	reinforcing
BD	board	HORZ.	horizontal	REQD.	required
BIT	bituminous	HVAC	heating, ventilating, air conditioning	REV.	revision, revised
BLDG	building	I.D.	inside diameter	RM	room
BLK	block	IBC	International Building Code	RUB	rubber
BLKG	blocking	ILLUM.	illuminated	S.	south
BLKHD	bulkhead	IN. (")	ınches	S.A.	supply air
ВМ.	beam	INCL.	included, including	S.D.	storm drain
BOCA	Building Officials Conference of America	INSUL.	insulation, insulating	S.F.	square feet
BOTT.	bottom/bottom of	INT.	interior	5.I.	square inch
BRG.	bearing	INV.	ınvert	S.P.R.	single-ply roofing
BRK.	brick	J.B.	junction box	S.Y.	square yard
BRZ.	bronze	JST.	Joist	SAN.	sanıtary
BSMT.	basement	JT.	joint	SCHED.	schedule
C	channel	K. (KIP)	thousand pounds	SECT.	section
C.B. C.I.	catch basın cast ıron	K.E.C.	Kıtchen Equipment Contract(or)	SHT.	sheet
C.I.J.	column isolation joint	KVA	kilovolt-ampere	SHWR.	shower
C.J.	control joint	KW	kilowatt	SIM.	sımılar
C.P.	clay pavers	L.C. L.L.H.	Landscape Contract(or)	SPEC. SPRK.	specifications sprinkler
C.R.	classroom	L.L.V.	long leg horizontal long leg vertical	SQ.	square
C.T.	ceramic tile	L.P.	low point	ST.STL.	stainless steel
CAB.	cabinet	LAM.	laminated	STD.	standard
CAFE.	cafeteria	LAT.	lateral	STL.	steel
CEM.	cement	LT.	light	STRUC.	structural
CER.	ceramic	LTG.	lighting	STRUCT, FMG	structural framing
CHLKBD	chalkboard	LTGA.	lightguage structural	SURF.MTD.	surface mounted
cL	centerline	LTWT. CONC.	lightweight concrete	SUSP.	suspended
CLG.	ceiling	LVL.	Level	T # G	tongue and groove
CLG. HT.	ceiling height	LVR.	louver	T.	tread
CONC.	concrete	LWR.	lower	T.C.	terra cotta
CONF.	conference	M.H.	manhole	T.Z.	terrazzo
CONST.	construction	M.O.	masonry opening	T/	top of
CONT.	continuous	M.R.	moisture resistant	T/C	top of curb
CONTR.	contractor	MACH.	machine	TB.	tackboard
CTR. CU. FT.	center cubic foot	MAS.	masonry	TEL.	telephone
		MATL.	material	TEMP.	tempered (or temporary)
CU.YD D.F.	cubic yard drinking fountain	MAX.	maximum	THRU.	through
DEG. ()	degree	MECH. MED.	mechanical medium	THSLD TYP.	threshold typical
DIA. ()	diameter	MFR.	manufacturer	U.C.	typical under-cut
DIAG.	diagonal	MIN.	minimum	U.H.	unit heater
DIM.	dimension	MISC.	miscellaneous	U.N.O.	unless noted otherwise
DM. PARTN.	demountable partition	MLDG.	molding	U/S	underside of
DMSG. PARTN.	demising partition	MTD.	mounted	UL	Underwriters Laboratories
DN.	down	MTL.	metal	UNFIN.	unfinished
DR.	door	N	north	UPR.	upper
DS	downspout	N.I.C.	not in contract	V.A.V.	variable air volume
DTL.	detail	N.T.S.	not to scale	V.B.	valve box
DWG.	drawing	NFPA	National Fire Protection Association	V.C.T.	vinyl composition tile
E.	east	NO. (#)	number	VAC.	vacuum
E.C.	Electrical Contract(or)	NOM.	nominal	VARN.	varnish
E.W.	each way	NRC.	noise reduction coefficent	VENT.	ventilation or ventilator
E.W.C.	electric water cooler	O.C.	on center	VERT.	vertical
EA.	each	O.D.	outside diameter	VIT.	vitreous
ED.	education	O.H.	overhead	VOL.	volume
EL.	electric(al)	OPG.	opening	VWC	vinyl wall covering
ELEC.	electric(al)	OPP.	opposite	W.	west
ELEV.	elevator	ORN.	ornamental	W.C.	water closet
EMER. ENCL.	emergency	OSHA	Occupational Safety and Health	W.F.T.	waterproof floor topping
ENCL. ENGR.	enclosure engineer	OZ.	Administration ounce	W.GL.	wire glass
EQ.	engineer equal	02. P.A.	public address	W.H.	water heater
EQUIP.		P.C.	Plumbing Contract(or)	W.I.	wrought iron
EXH.	equipment exhaust	P.L.	property line	W.M.P. W/	wire mesh partition
EXIST; EX.	existing	PARTN.	partition	W/ W/O	with without
EXP.	exposed	PC.	piece	WD.	wood
EXP.JT./EXT.JT.	expansion joint	PCST	precast	WDW.	window
LXF.JI./LXI.JI.	expansion joint				
EXT.	exterior	PERF.	perforated		
			·	WPRF. WT.	waterproofing weight



CONTROL JOINT

COLUMN ISOLATION JOINT

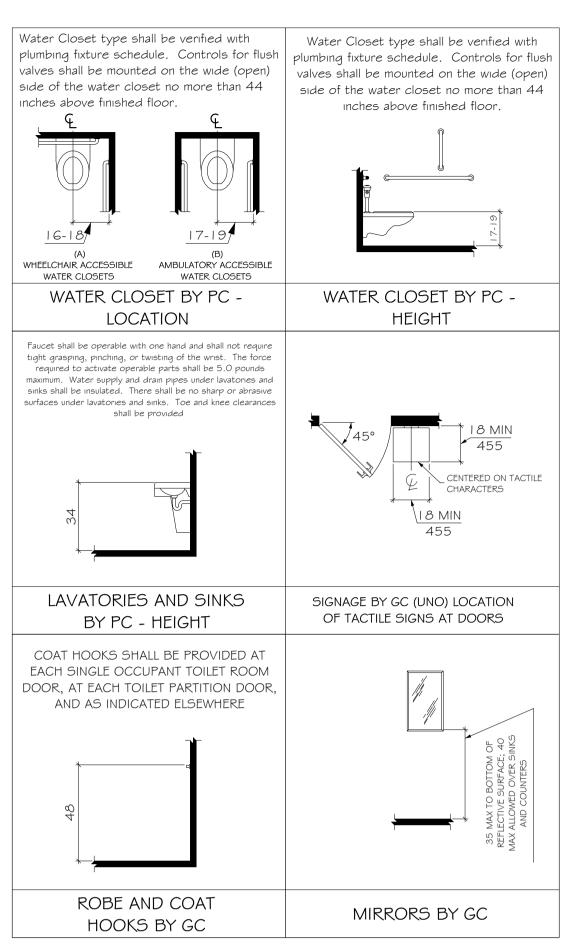


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As indicated 11/23/2021 Drawn By: **L.MEYER** Checked By: Project No.:

ACCESSIBILITY REQUIREMENTS AND MOUNTING HEIGHTS



GENERAL NOTES:

- A. ALL CONSTRUCTION WORK SHALL CONFORM WITH THE APPLICABLE CODES AND ORDINANCES OF THE AUTHORITY(IES) HAVING JURISDICTION. THE CONTRACTOR(S) SHALL POST NOTICES AND COMPLY WITH THE GOVERNING LAWS OF THE JURISDICTION. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AS REQUIRED BY ALL APPLICABLE CODES AND AUTHORITIES, HAVING JURISDICTION.
- B. THE WORK SHALL BE PROPERLY SUPERVISED BY THE CONTRACTORS JOB SITE SUPERINTENDENT. SUFFICIENT PERSONNEL SHALL BE EMPLOYED TO COMPLETE THE WORK WITHIN THE CONTRACT TIME. PERSONNEL SHALL BE SKILLED IN THE TASK(S) ASSIGNED.
- C. THE CONTRACTOR(S) SHALL AT ALL TIMES MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD THE PUBLIC AND ALL PERSONS ENGAGED IN THE PERFORMANCE OF WORK. CONTRACTORS SHALL TAKE PRECAUTIONARY MEASURES TO ENSURE THE SAFETY OF THE PUBLIC ON AND SURROUNDING THE SITE DURING ALL CONSTRUCTION ACTIVITIES.
- D. THE CONTRACTOR(S) SHALL VISIT THE SITE(S) TO PERSONALLY ASCERTAIN THE NATURE OF THE WORK INVOLVED AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE(S) PRIOR TO THE SUBMISSION OF A BID. THE CONTRACTOR(S) IS/ARE RESPONSIBLE FOR BECOMING FAMILIAR WITH THE EXISTING CONDITIONS. ALL DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE SUBMISSION OF A BID.
- E. THE CONTRACTOR(S) SHALL VERIFY ALL LINES, LEVELS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT BEFORE STARTING WORK. RE-CHECK DIMENSIONS PRIOR TO ORDERING MANUFACTURED AND FABRICATED ITEMS. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY CONTRACTOR ON THE SITE; CONTRACTOR(S) IS(ARE) RESPONSIBLE FOR PROPER FIT OF ALL WORK. THE DRAWINGS ARE DIAGRAMMATIC; CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AT THE SITE PRIOR TO ANY INSTALLATION.
- F. PROTECT ALL UTILITY LINES DURING CONSTRUCTION, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT. CONTRACTOR(S) SHALL VERIFY THE LOCATION(S) AND, WHERE NECESSARY, THE DEPTH OR HEIGHT OF ALL UTILITIES, REGARDLESS OF OWNERSHIP OF UTILITIES, PUBLIC OR PRIVATE, PRIOR TO CONSTRUCTION. CONTRACTOR(S) SHALL ANTICIPATE ALL WORK REQUIRED AND INCLUDE THESE ITEMS AS PART OF THEIR BASE BID. CONTRACTOR(S) SHALL TAKE ALL NECESSARY PRECAUTIONS AND SAFETY MEASURES IN AND AROUND EXISTING UTILITIES, INCLUDING LOCATING THE EXISTING UTILITIES, BURIED AND ABOVE GROUND, IN AND AROUND ALL NEW CONSTRUCTION; SUPPORT ANY EXPOSED UTILITIES FOUND OR UNCOVERED DURING THE COURSE OF CONSTRUCTION; IN THE EVENT UTILITIES ARE DAMAGED DURING CONSTRUCTION, THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE SHALL REPAIR ANY AND ALL DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING UTILITIES IN A MANNER CONSISTENT WITH ALL PERTINENT FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC., INCLUDING ALL UTILITY REGULATIONS GOVERNING THE DAMAGED UTILITY/SERVICE; ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- G. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE INFORMATION FOUND WITHIN ALL CONTRACT DOCUMENTS, IN SO FAR AS SUCH INFORMATION PERTAINS TO THE CONTRACTOR, INCLUDING BUT NOT LIMITED TO ALL DRAWINGS, DRAWING SHEETS, SPECIFICATIONS, ETC.; WHERE ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL, ETC., DRAWINGS INDICATE WORK TO BE COMPLETED, WHETHER PROVIDED, FURNISHED OR INSTALLED, BY A CONTRACTOR, THE PRESCRIBED CONTRACTOR SHALL BE RESPONSIBLE FOR THAT WORK; RESPONSIBILITY SHALL EXTEND TO APPLICABLE GENERAL NOTES, SPECIFIC NOTATIONS, SCHEDULES, ETC.
- H. ALL AREAS DISTURBED DUE TO CONTRACTOR ACTIVITIES DURING CONSTRUCTION, SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION/APPEARANCE.

I. THE CONTRACTOR SHALL NOT BLOCK OR DELAY ANY PUBLIC ROAD OR ACCESS DRIVE TO THE SITE AND SHALL MAINTAIN ACCESS AND SERVICES TO ALL OWNERS FACILITIES AND UTILITIES AT ALL TIMES.

- J. SEALANTS SHALL BE PROVIDED AT ALL JOINTS WHERE DIFFERENT MATERIALS ABUT.
- K. INFORMATION FOR THESE DOCUMENTS HAS BEEN GATHERED FROM AVAILABLE SOURCES. THERE IS NO INTENT TO GUARANTEE THE ACCURACY AND COMPLETENESS OF THIS INFORMATION. CONTRACTOR SHALL INVESTIGATE AND VERIFY ACTUAL CONDITIONS AT THE SITE IN SO FAR AS SUCH INFORMATION AFFECTS INDIVIDUAL CONTRACTS.
- L. CONTRACTOR SHALL COORDINATE LOCATION OF STAGING/STORAGE AREAS WITH THE OWNER.

Dwg. Revisions:

Revision
Number

Revision Date

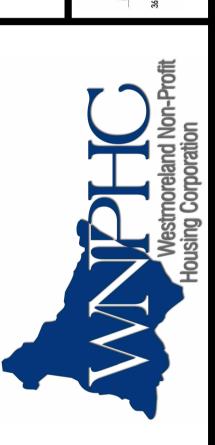
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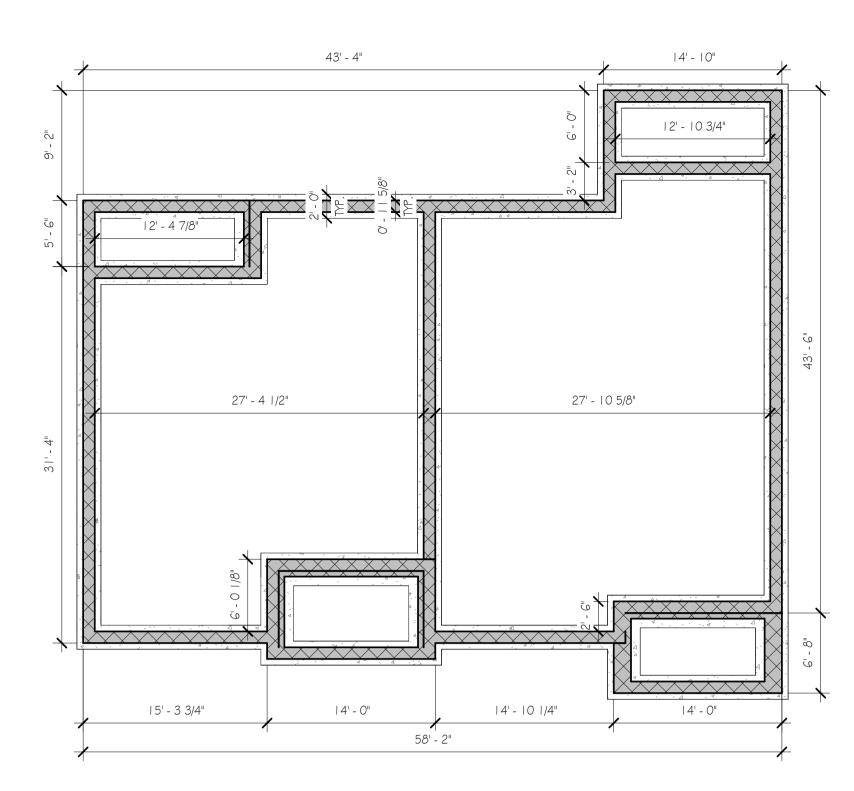
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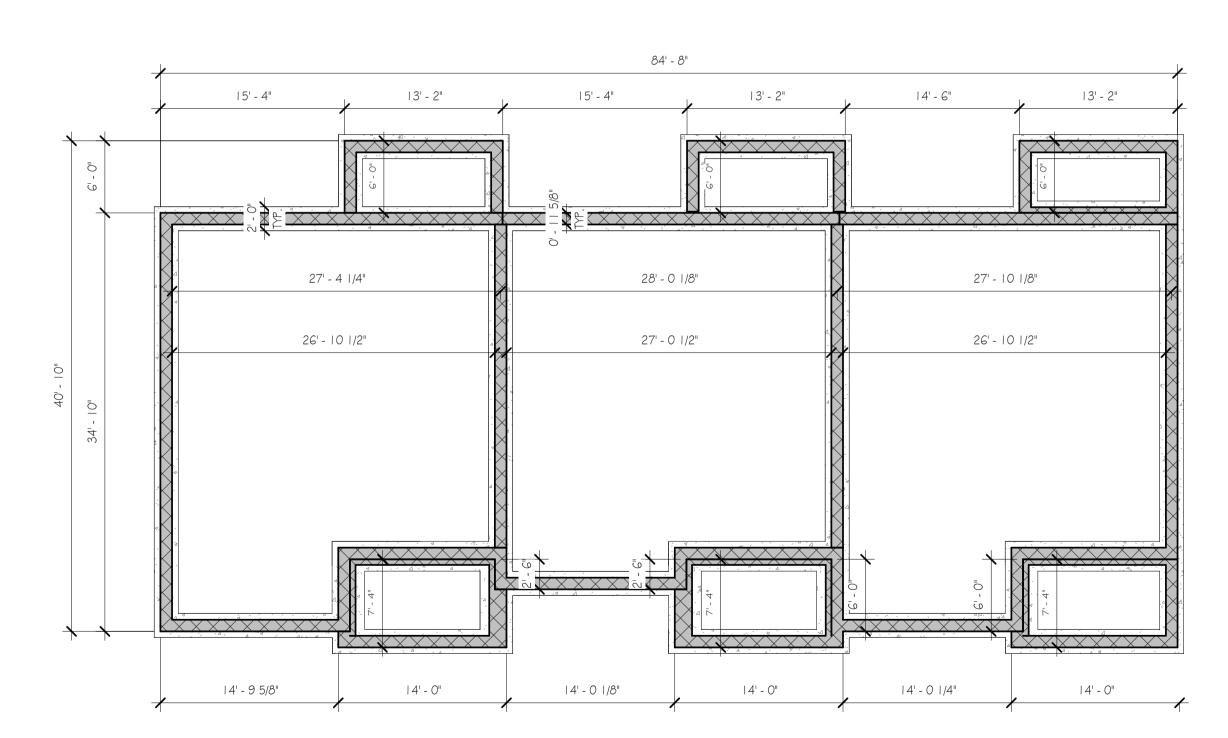
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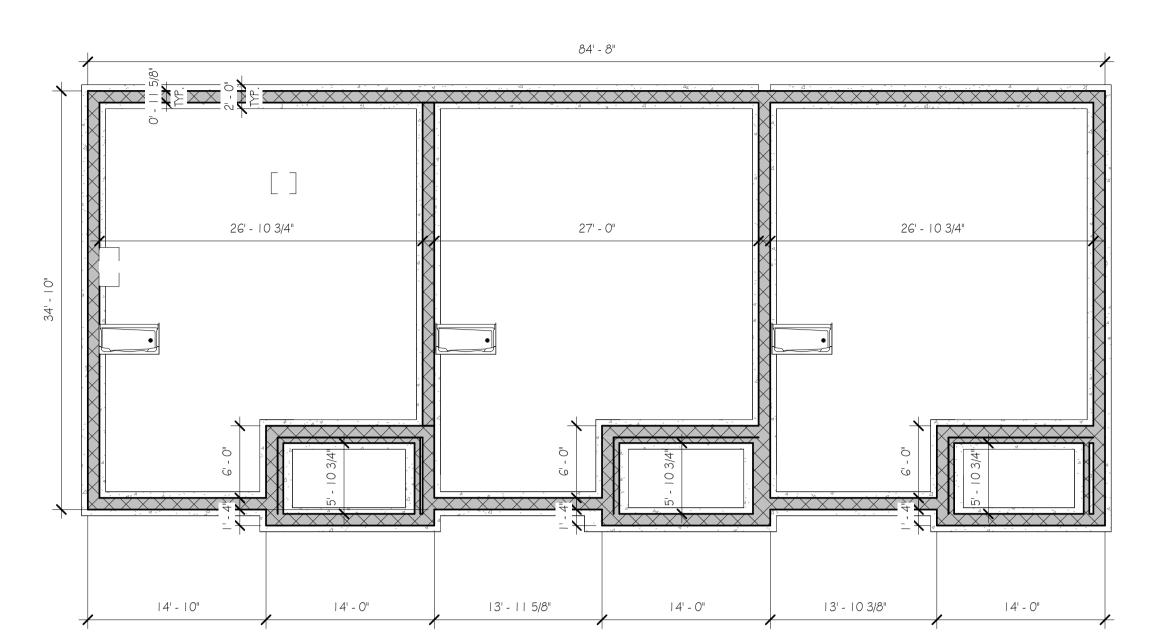
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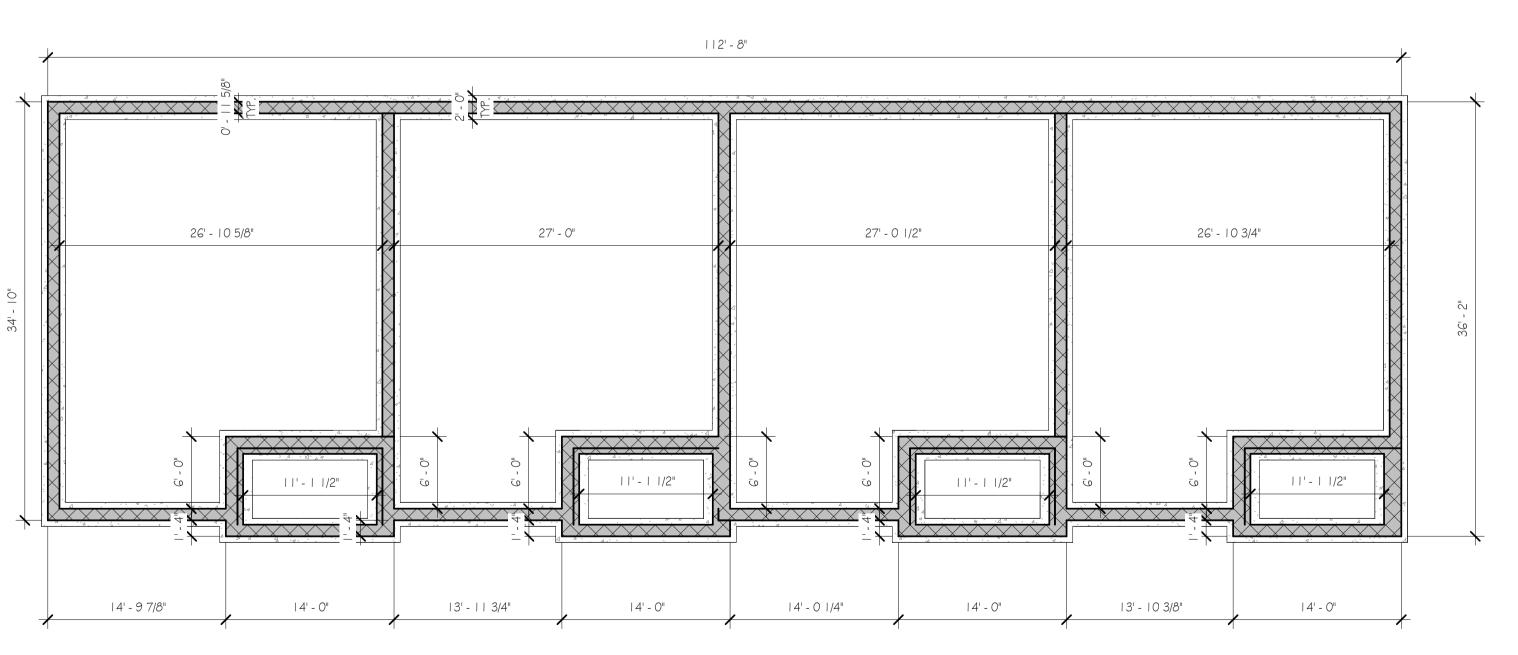
FOUNDATION PLAN - BUILDING TYPE A



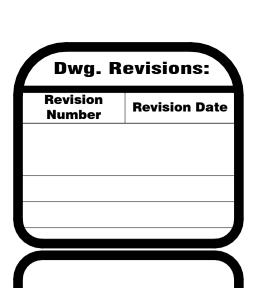
3 FOUNDATION PLAN - BUILDING TYPE C



2 FOUNDATION PLAN - BUILDING TYPE B
A101 1/8" = 1'-0"



4 FOUNDATION PLAN - BUILDING TYPE D
A101 1/8" = 1'-0"

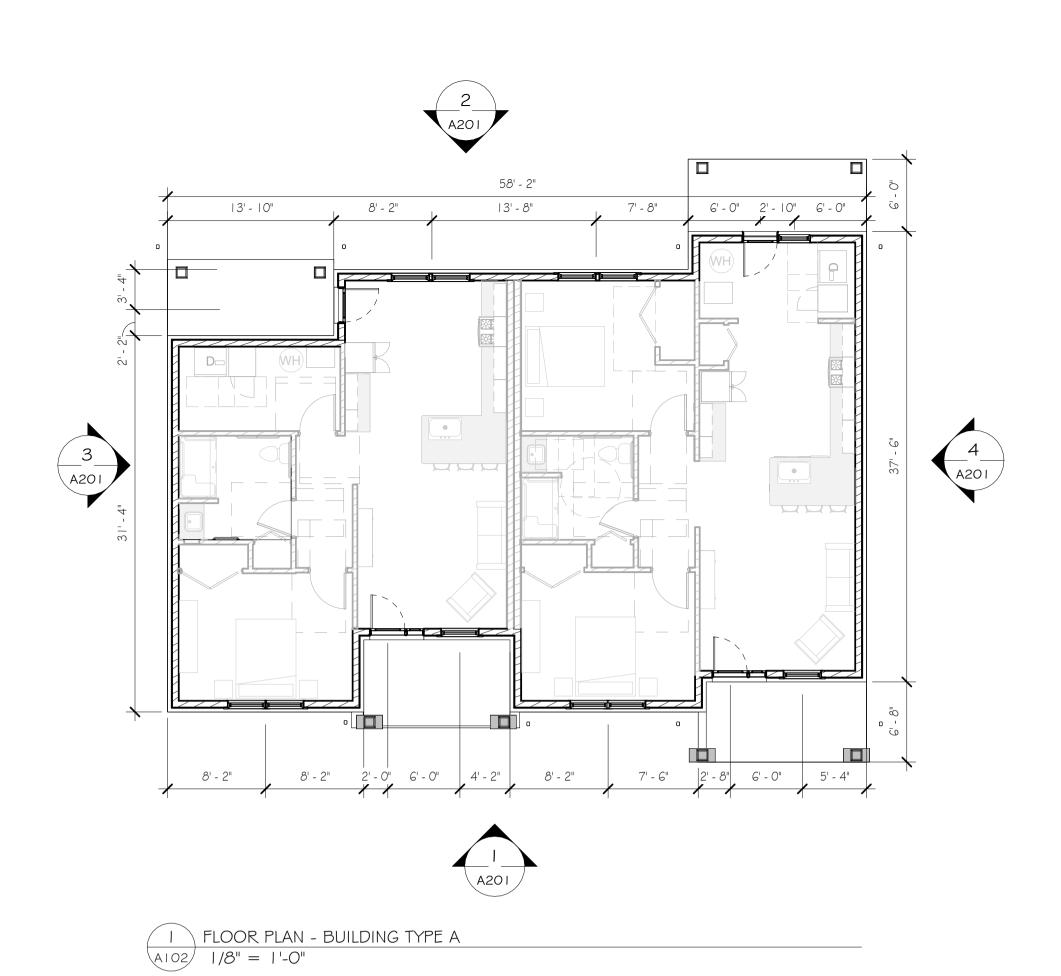


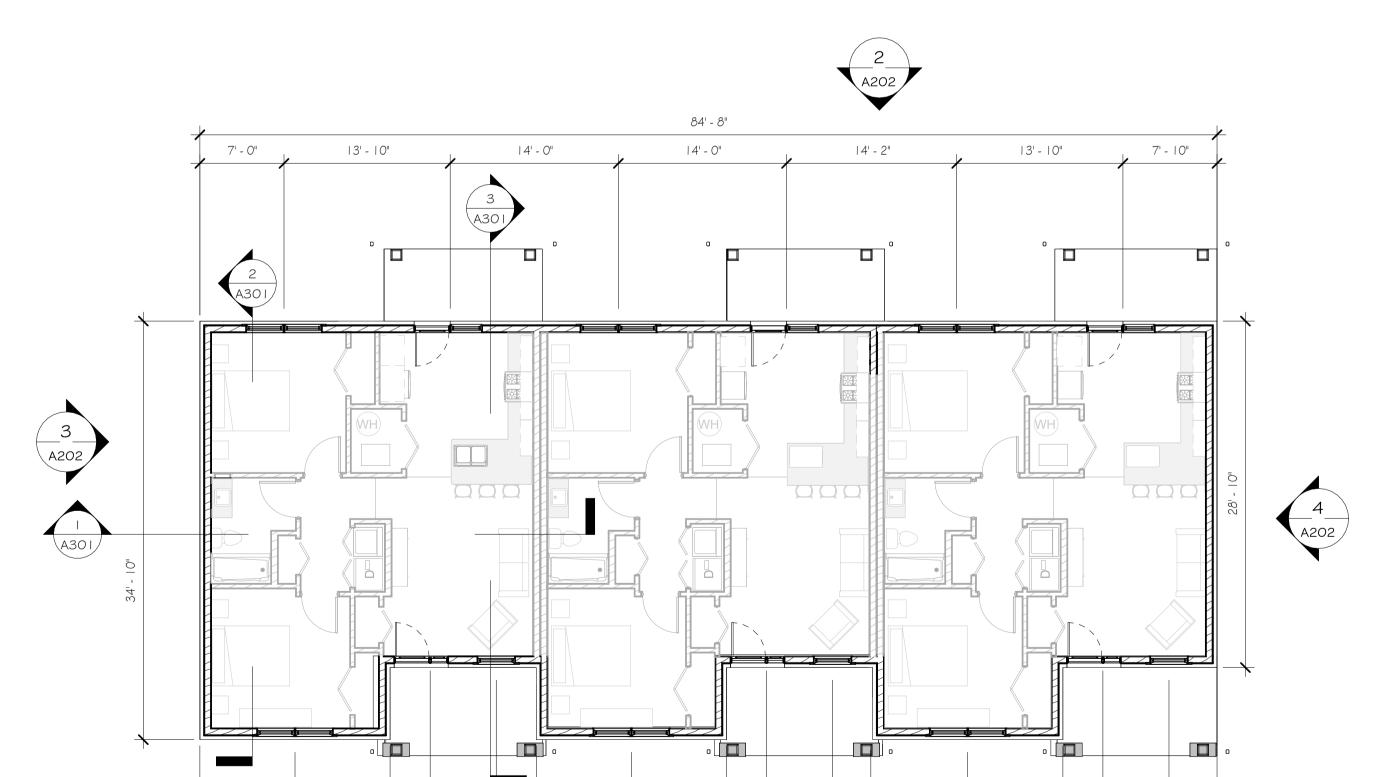
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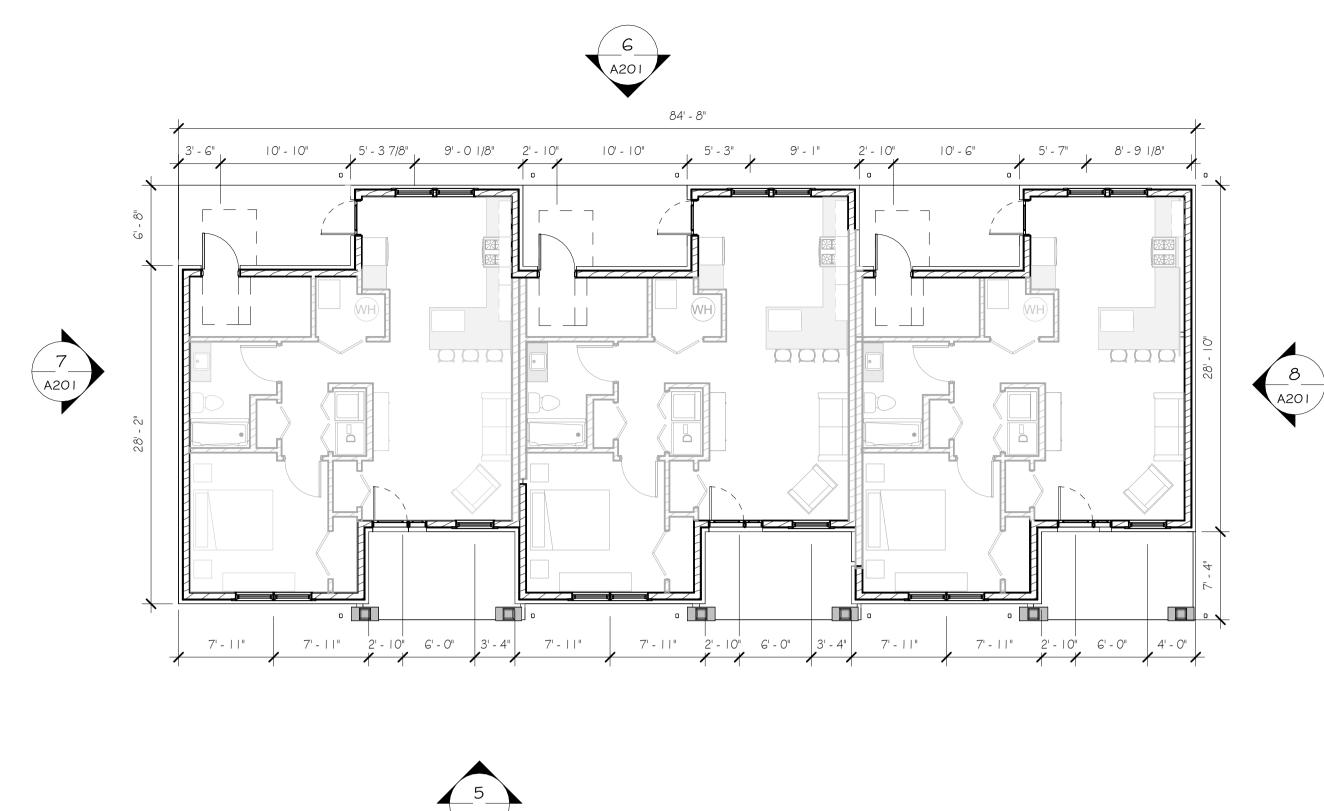
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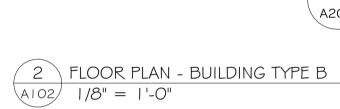




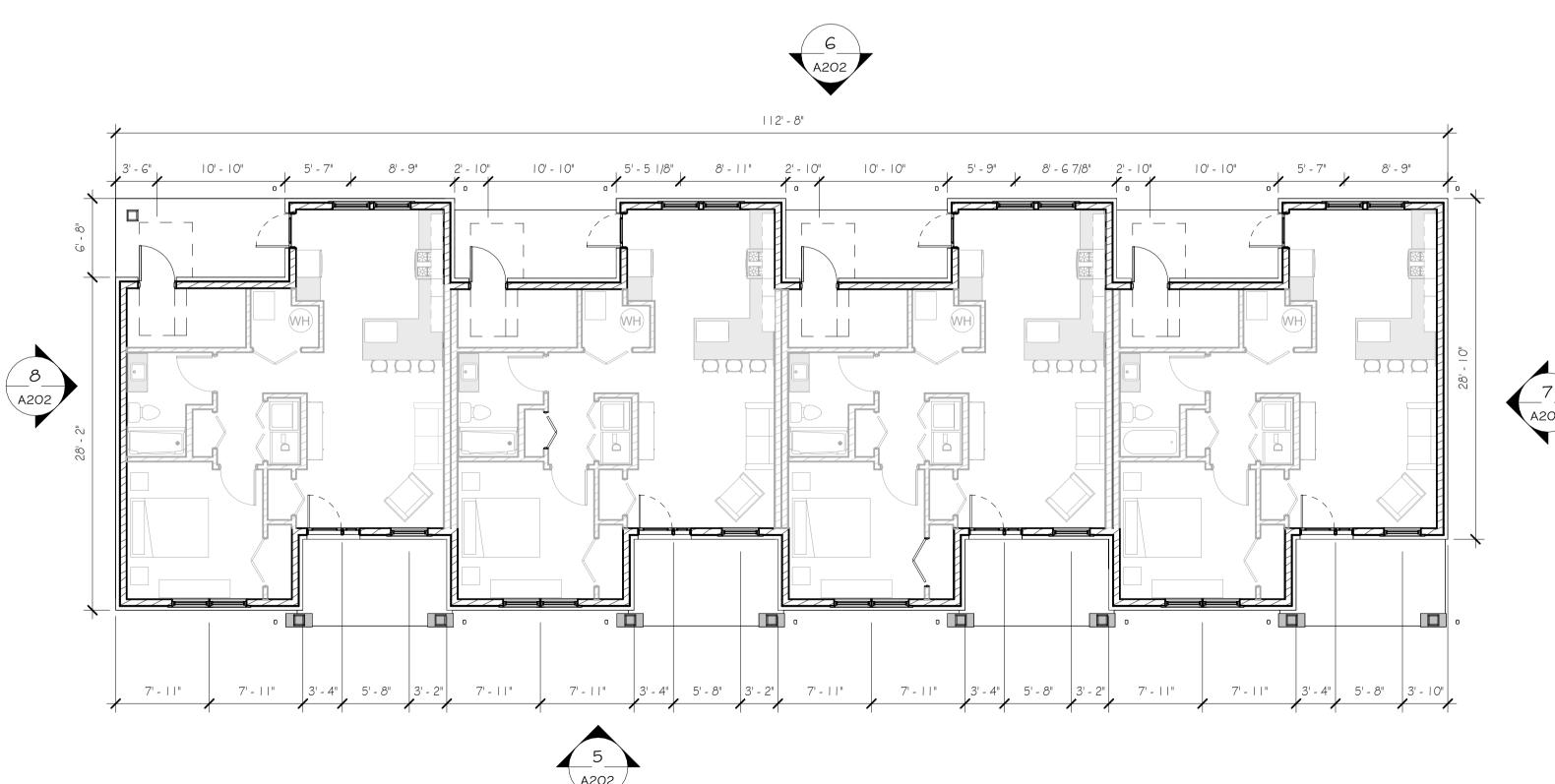
7' - || 3' - 4" 5' - 6" 3' - 4" 7' - ||

3 FLOOR PLAN - BUILDING TYPE C A102 1/8" = 1'-0" 7'-||" | 3'-4" | 5'-6" | 3'-2|/4" | 8'-03/4" | 7'-||" | 3'-4" | 5'-6" | 4'-0" |





4 FLOOR PLAN - BUILDING TYPE D
A102 1/8" = 1'-0"



MOUNT PLEASANT TOWNSHIP, WESTMORELAND
COUNTY, PA
FOR
FOR
THEST FLOOR PLANS
FIRST FLOOR PLANS

SEAL

Drawing No. A 102

Drawn By:

Checked By:

Project No.:

3 ROOF PLAN - BUILDING TYPE C A103 1/8" = 1'-0"

ROOF PLAN - BUILDING TYPE A

A103 1/8" = 1'-0"

10"/12"

4 ROOF PLAN - BUILDING TYPE D

2 ROOF PLAN - BUILDING TYPE B
A103 1/8" = 1'-0"

SEAL

As indicated Date: 11/23/2021 Drawn By: Checked By: Checker **Project No.:** 2141

Drawing No.

File No.:

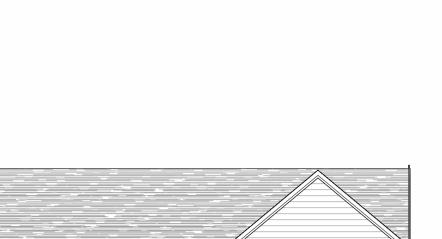


BUILDING TYPE A - FRONT ELEVATION

A201 1/8" = 1'-0"

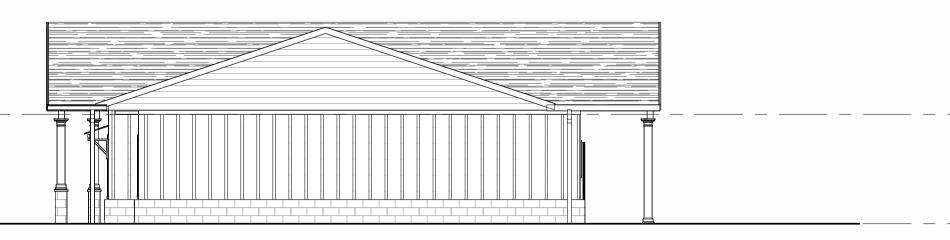


2 BUILDING TYPE A - REAR ELEVATION
A201 1/8" = 1'-0"



ROOF BRG. 9' - 1 1/8" FIRST FLOOR
O' - O"

BUILDING TYPE A - SIDE ELEVATION I



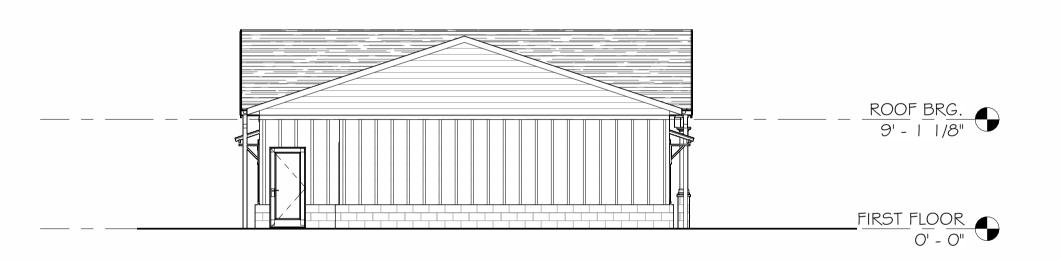
4 BUILDING TYPE A - SIDE ELEVATION 2
A201 1/8" = 1'-0"



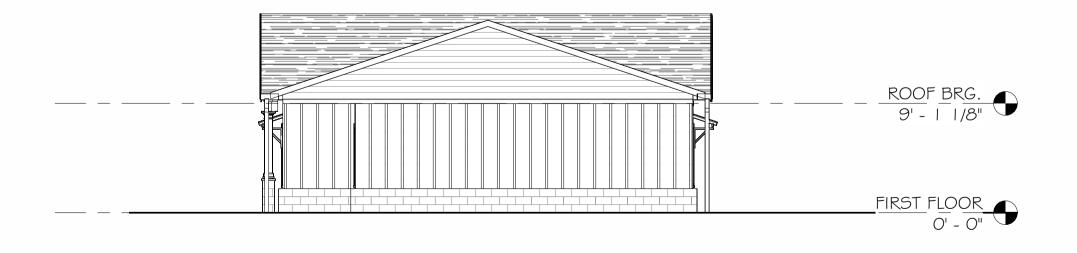
5 BUILDING TYPE B - FRONT ELEVATION
A201 1/8" = 1'-0"



6 BUILDING TYPE B - BACK ELEVATION
A201 1/8" = 1'-0"



7 BUILDING TYPE B - SIDE ELEVATION I
A201 1/8" = 1'-0"



8 BUILDING TYPE B - SIDE ELEVATION 2
A201 1/8" = 1'-0"

ROOF BRG. 9' - 1 1/8"

FIRST FLOOR
O' - O"

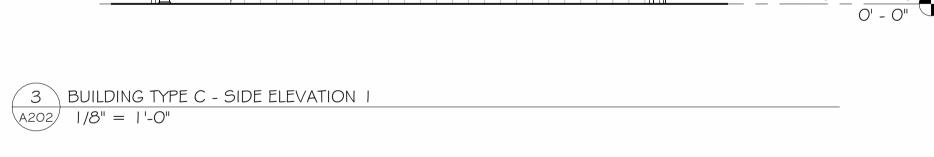
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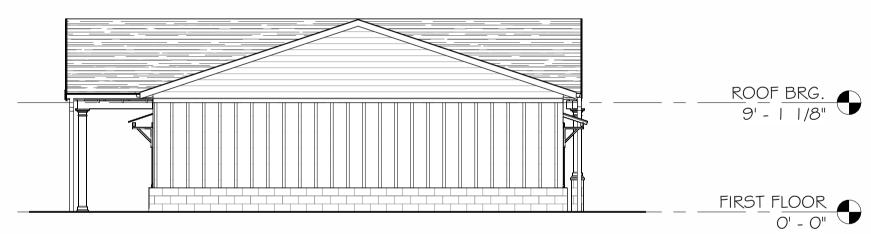


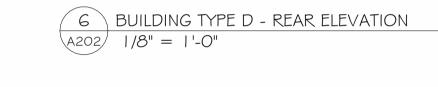
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Drawing No. A201













2 BUILDING TYPE C - BACK ELEVATION A202 1/8" = 1'-0"



7 BUILDING TYPE D - SIDE ELEVATION I
A202 1/8" = 1'-0"

8 BUILDING TYPE D - SIDE ELEVATION 2
A202 1/8" = 1'-0"

ROOF BRG. 9' - 1 1/8"

FIRST FLOOR
O' - O"

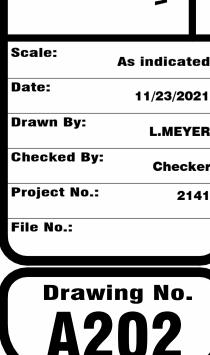
ROOF BRG.
9' - 1 1/8"

FIRST FLOOR
O' - O"







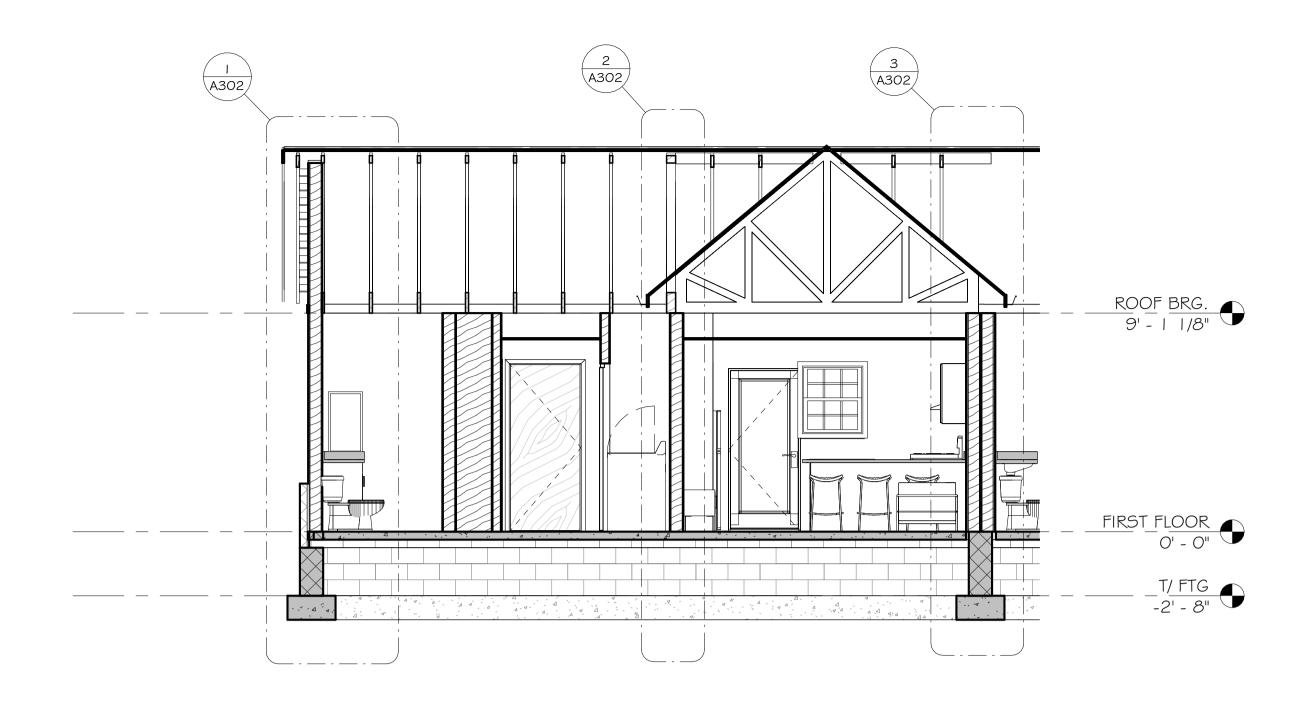


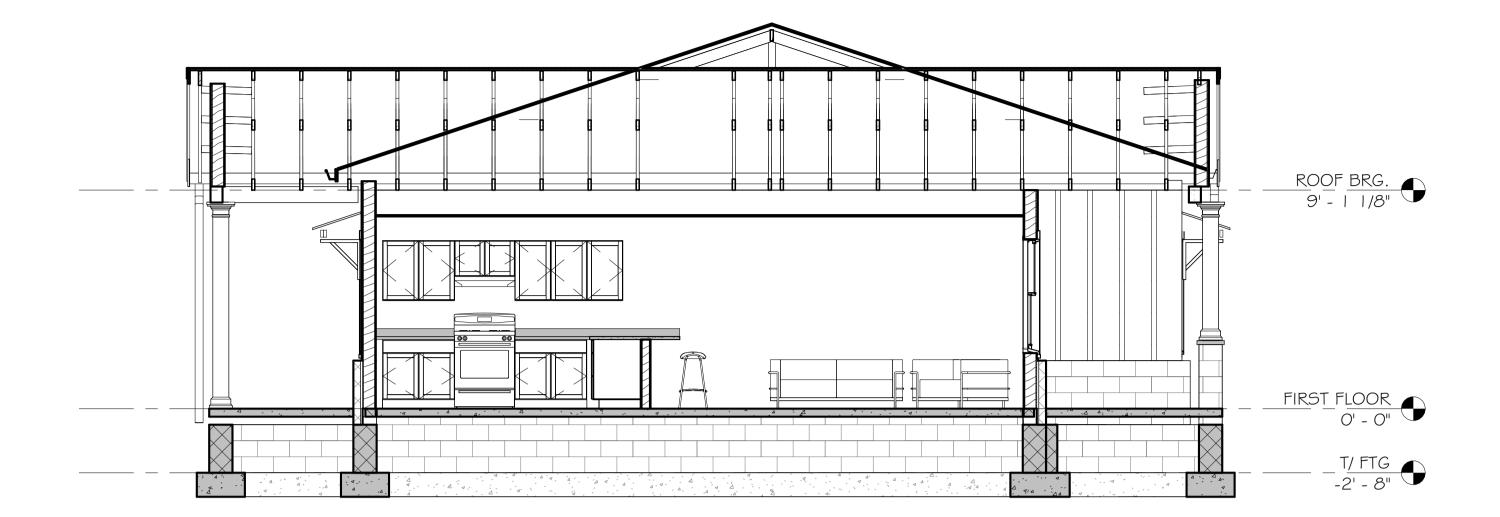
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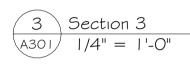
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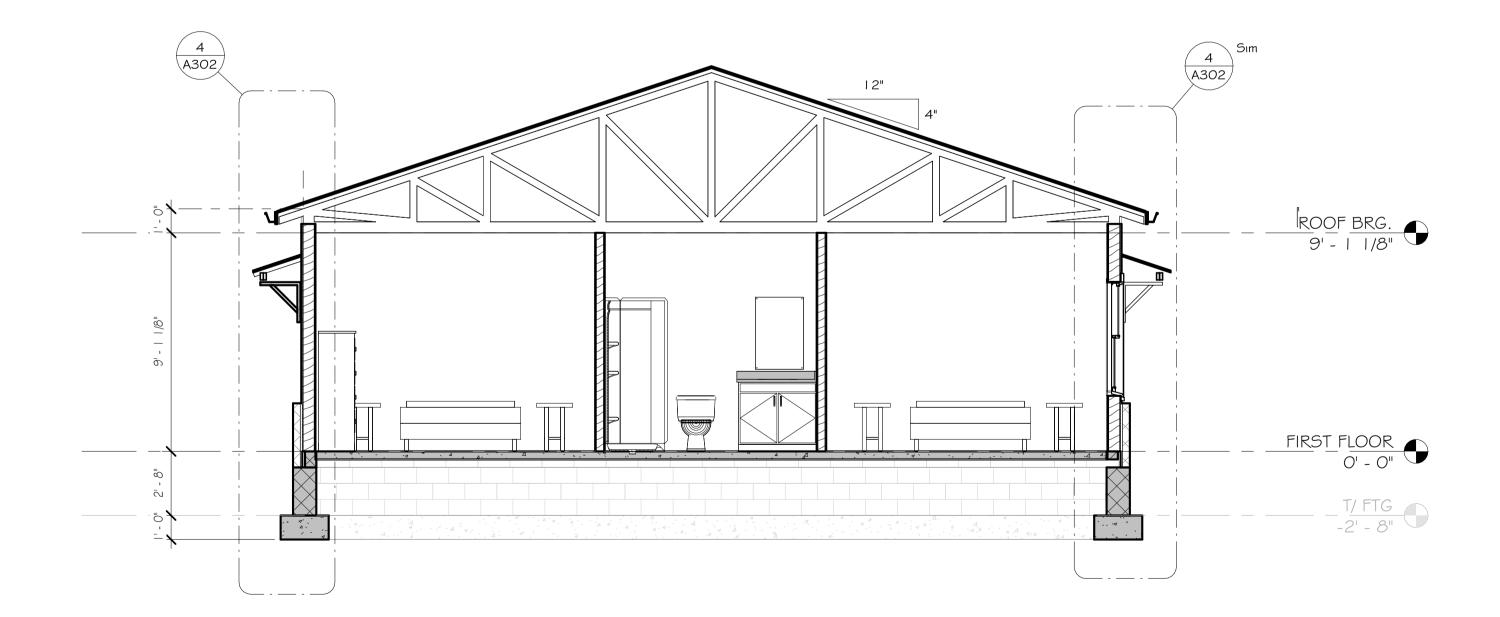
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Checked By:	Checker
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Date:	11/23/202
Drawn By:	L.MEYEI
Checked By:	Checke
Project No.:	214
File No.:	









2 Section 2 A301 1/4" = 1'-0"



Dwg. Revisions:

SEAL

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SANT TÖWNSHIP, WESTMORELAND
COUNTY, PA
FOR
NON-PROFIT HOUSING CORPORATION

Scale: As indicated

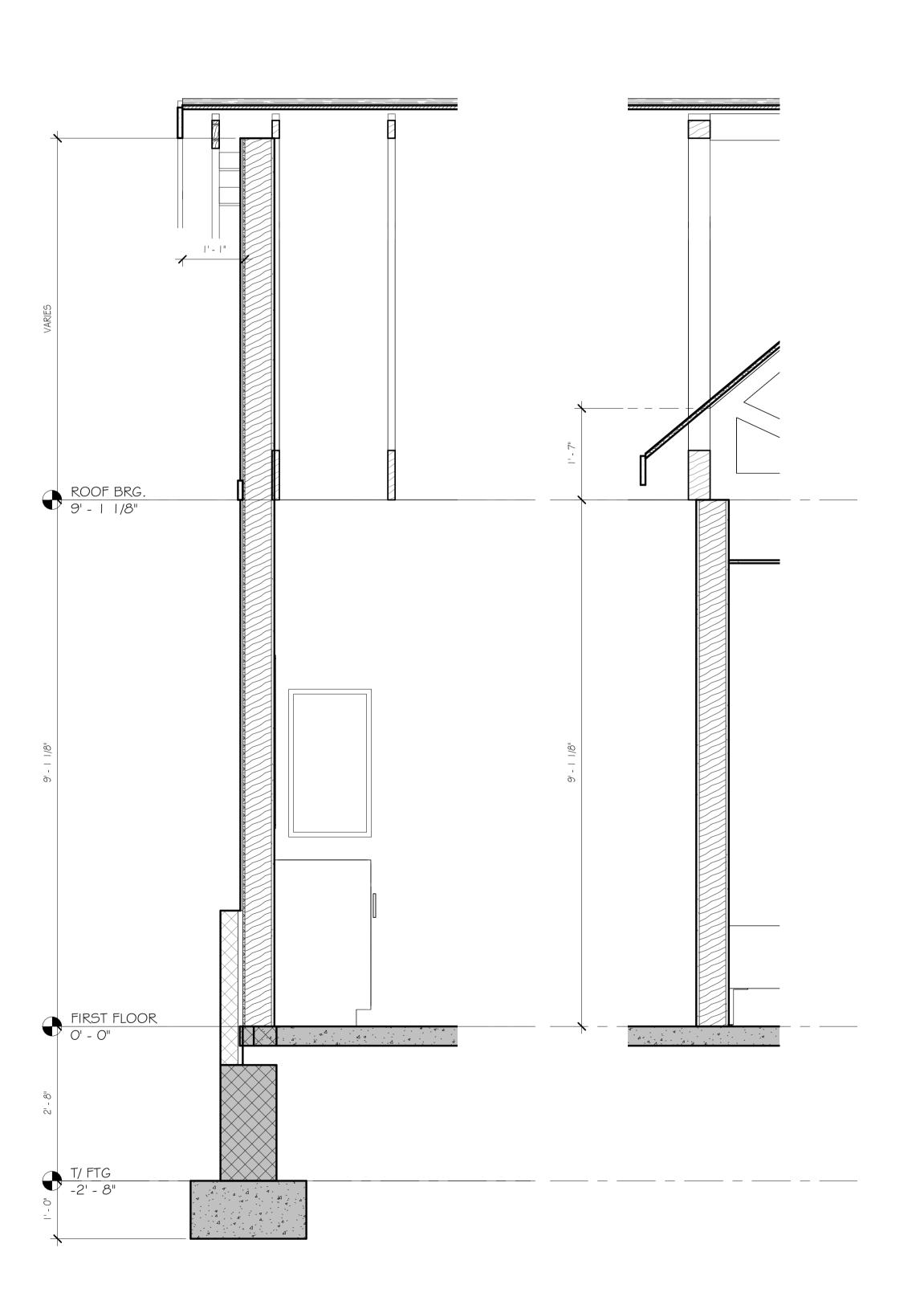
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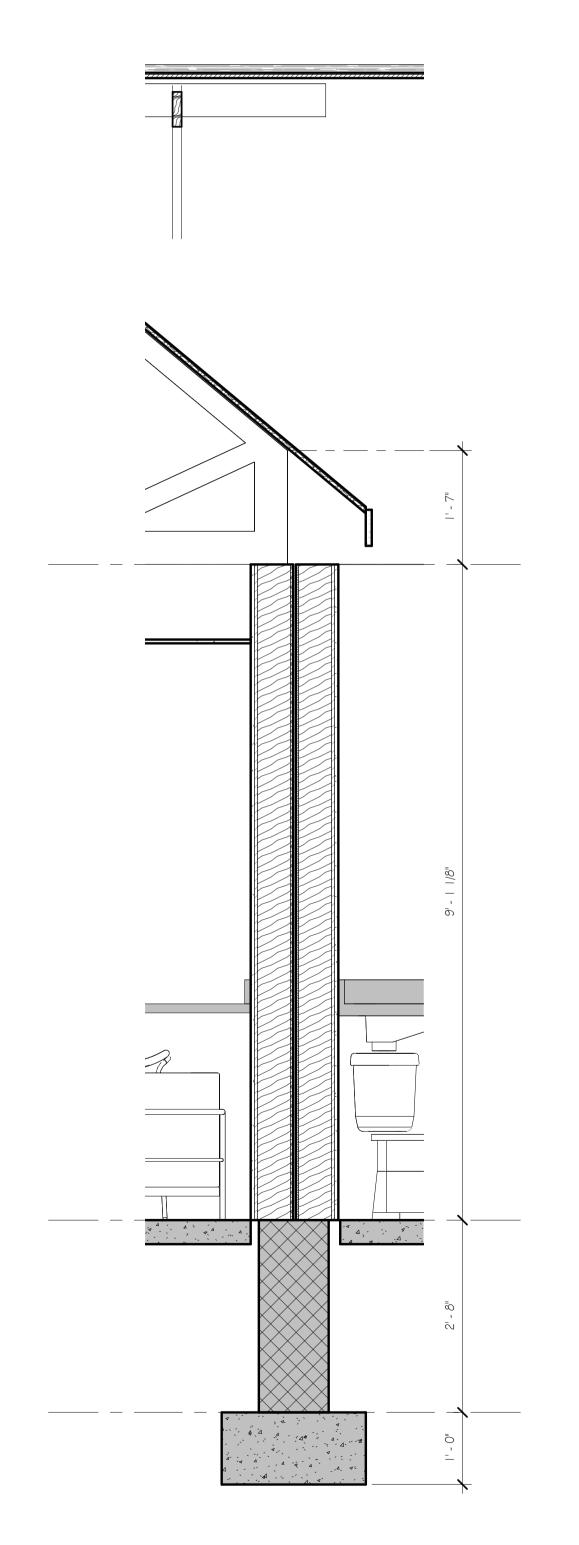
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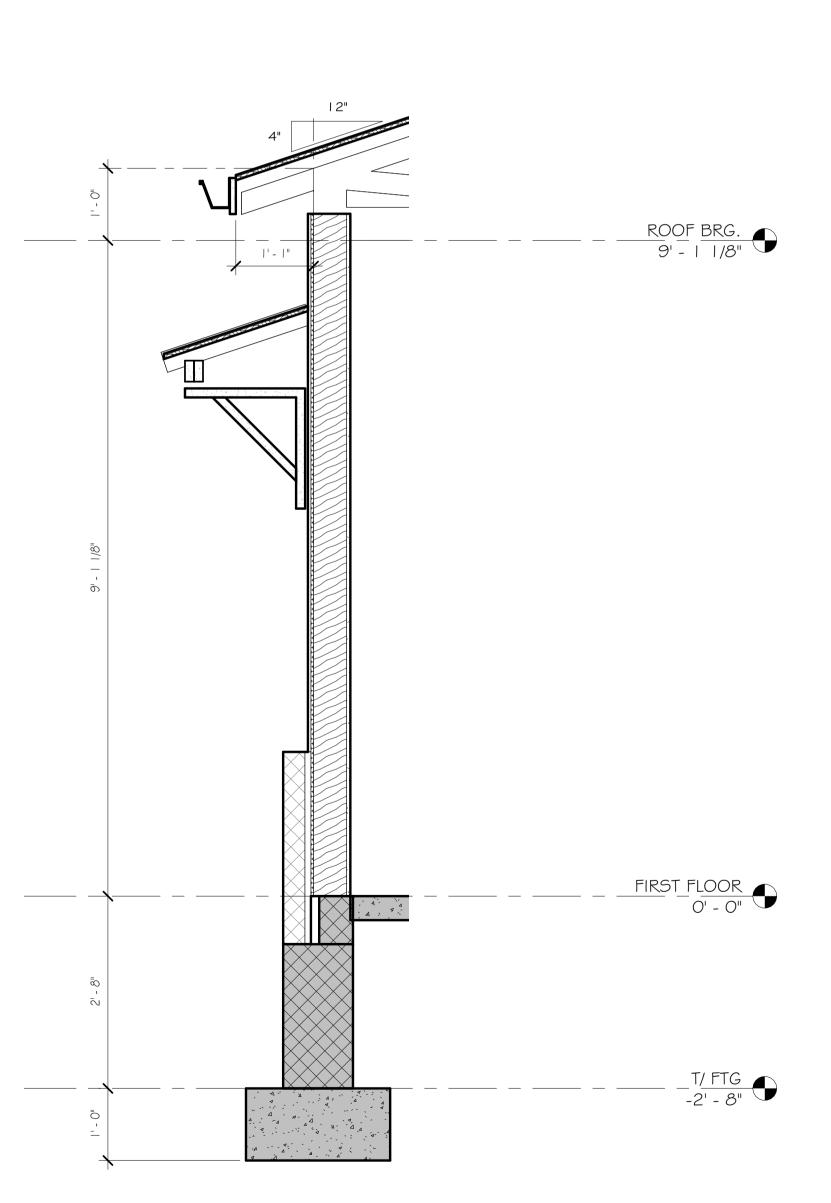
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Project No.: 2141

Drawing No.
A301







TYPICAL WALL SECTION - GABLE END

A302 3/4" = 1'-0"

2 TYPICAL WALL SECTION - @ GIRDER TRUSS A302 3/4" = 1'-0"

3 TYPICAL WALL SECTION - @ PARTY WALL
A302 3/4" = 1'-0"

4 TYPICAL WALL SECTION @ TRUSS BEARING
A302 3/4" = 1'-0"

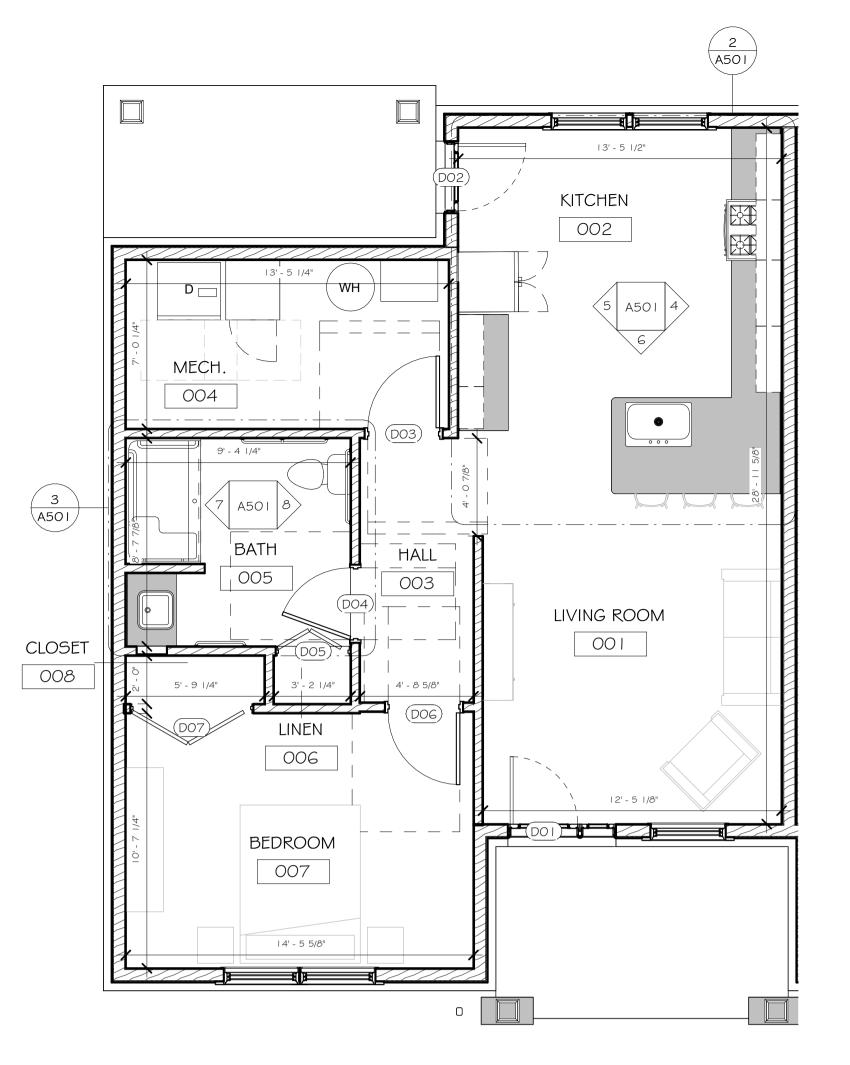
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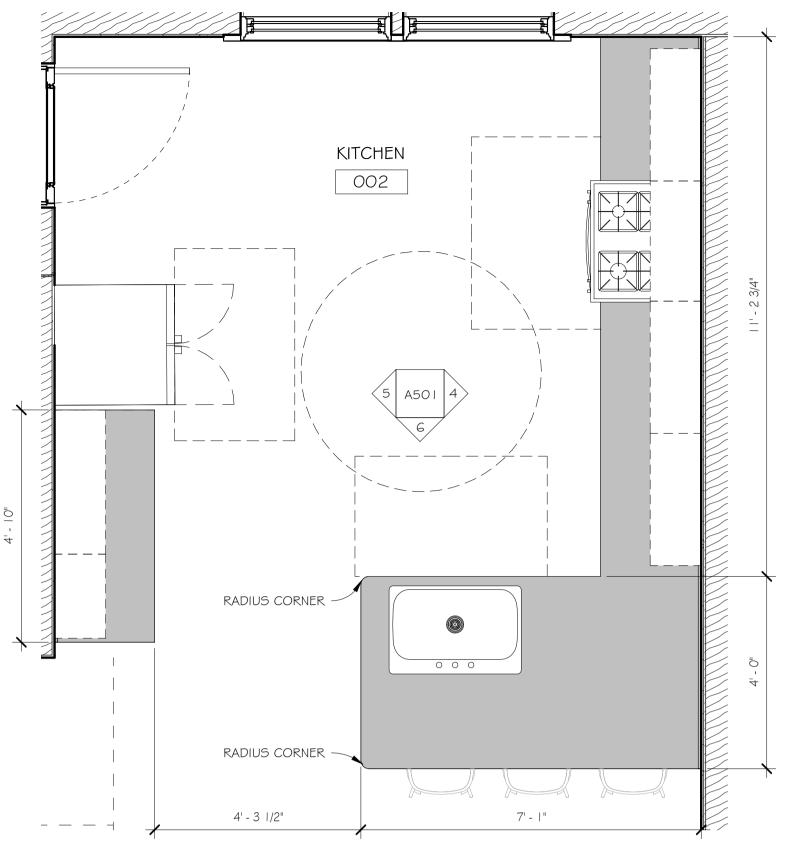
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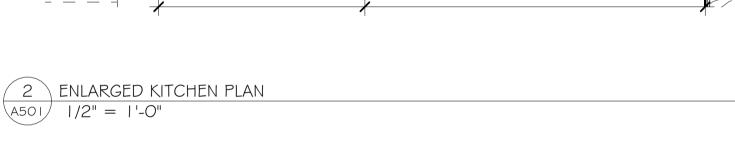
Project No.:



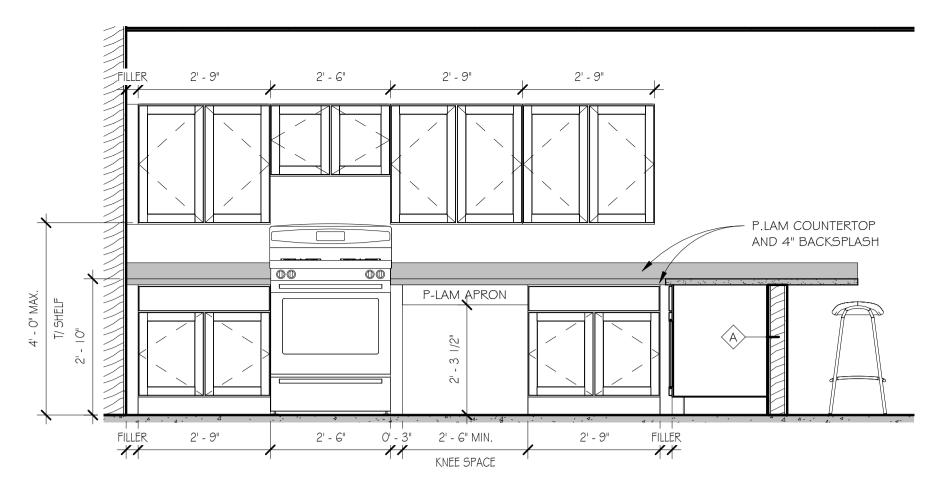




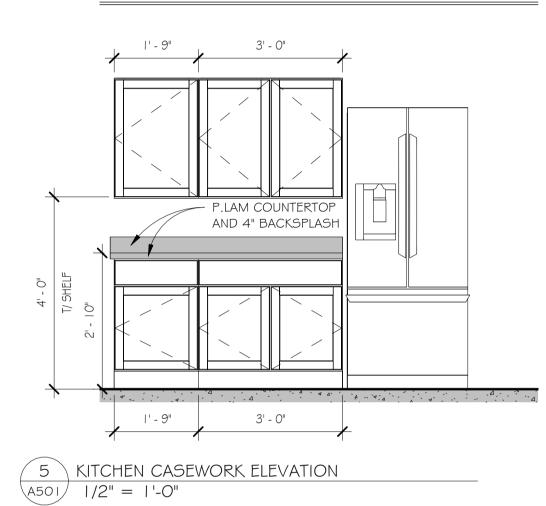


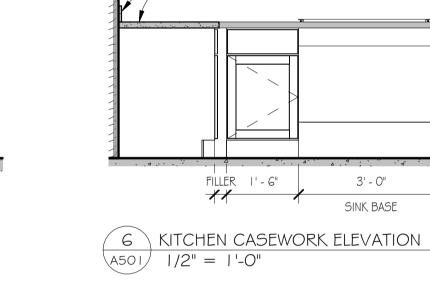


KITCHEN NOTES (THIS SHEET ONLY):









- P.LAM COUNTERTOP

AND 4" BACKSPLASH

- 3" X 24" X 32 1/2" COLUMN TO

SUPPORT COUNTER

DOOR S	CHEDULE -	ONE BEDROC	M ACCESSIBLE	UNIT				
DOOR #	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	FIRE RATING	ELEV.	HW SET	COMMENTS
FIRST FLOC	OR							
	3' - 0"	6' - 9 1/2"				Α		
D02	3' - 0"	6' - 9 1/2"				В		
D03	3' - 0"	6' - 8"	Wood	Hollow Metal		С		
D04	3' - 0"	6' - 8"	Wood	Hollow Metal		С		
D05	3' - 0"	6' - 8"	Wood	Wood		E		
D06	3' - 0"	6' - 8"	Wood	Hollow Metal		С		
D07	5' - 0"	6' - 8"	Wood	Wood		D		

					FINISHES				
RM#	ROOM NAME	FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	COMMENTS
IRST FLOO	DR LIVING ROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
002	KITCHEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
003	HALL	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
004	MECH.	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
005	BATH	LVT	RB	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
006	LINEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
000									
007	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	

FINISH SCHEDULE KEY:

APPROVED EQUAL

APPROVED EQUAL

SHOE; PAINT.

APPROVED EQUAL

GDW: GYPSUM DRYWALL

PT: PAINT

WD: WOOD BASE - 3 1/2" X 3/4" W/

LVT: LUXURY VINYL TILE - LOOSE LAY PLANK AS

CT: CERAMIC TILE (FLOOR) - ATTACHE I 2" X

BULLNOSE TOE AND 1/4" ROUND

RB: RUBBER BASE (6") - PINNACLE PLUS AS

MANUFACTURED BY ROPPE; OR

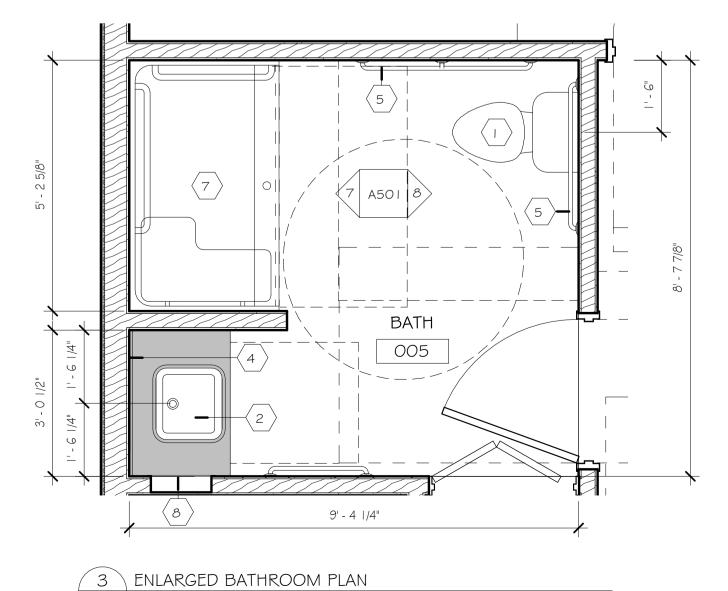
MANUFACTURED BY SOUTHWIND; OR

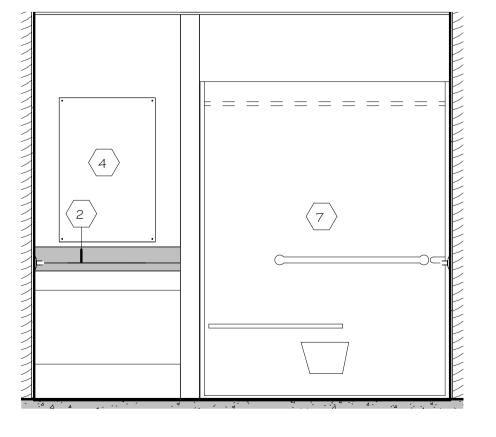
24" AS MANUFACTURED BY DALTILE; OR

- FINISH SCHEDULE NOTES: I. G.C. SHALL PROVIDE NEW CORNER GUARDS AT ALL OUTSIDE CORNERS. CORNER GUARDS SHALL BE CS ACROVYN MODEL 55M-20AN OR EQUAL AS APPROVED BY WCHA. CORNER GUARDS SHALL HAVE 2" LEGS AND 1/4" RADIUS EDGE. CORNER GUARDS SHALL EXTEND ENTIRE HEIGHT OF WALL. (ADMIN SUITE)
- PAINT ALL NEW/EXISTING GDW; TYPICAL NOTE PROVIDE 16" DEEP VINYL CLAD WIRE SHELVING SYSTEM WITH INTEGRAL CLOTHING ROD AT 12" AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; MOUNT SHELF AT 48" AFF. (SEE 4/A507)
- ENTEND NEW FLOORING UNDER CABINETS; TYPICAL NOTE PROVIDE VINYL CLAD WIRE SHELVING SYSTEM AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; PROVIDE 3 SHELVES
- PER CLOSET. (SEE 4/A507) 6. GC SHALL PREPARE ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FLOORING. FLOOR PREPARATION SHALL INCLUDE SKIN COATING EXISTING SURFACES TO MEET NEW FLOORING MANUFACTURER'S REQUIREMENTS; NO EXCEPTIONS; TYPICAL NOTE
- 7. LVT SHALL BE GLUED DOWN (FULL SPREAD) WITH PRESSURE RELEASE ADHESIVE AS RECOMMENDED BY FLOORING MANUFACTURER; TYPICAL NOTE

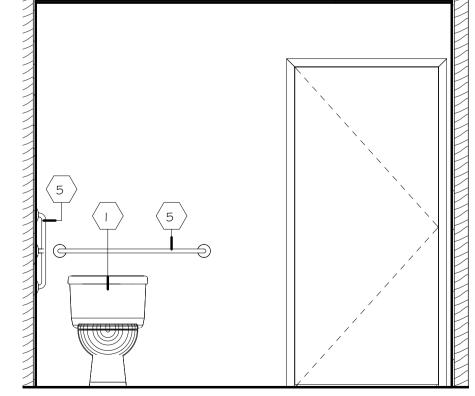
- ALL DRAWER UNITS SHALL BE EASY GLIDE FULL EXTENSION SLIDES WITH BUILT-IN STOPS. PROVIDE SLIDING TRAYS WITH EASY GLIDE FULL EXTENSION SLIDES WITH BUILT IN STOPS.
- PROVIDE BASIN GUARD AT ALL ACCESSIBLE SINK LOCATIONS. PROVIDE PLASTIC LAMINATE COUNTERTOPS W/ 4" BACKSPLASH. TOP OF COUNTER SHALL BE 33 1/2" AFF. PROVIDE FULL
- WRAP OF PLASTIC LAMINATE AT NOSING EXPOSED UNDERSIDE OF OVERHANG. MOUNT WALL CABINETS 48" AFF TO TOP OF SURFACE OF BOTTOM OF CONSTRUCTION.
- ALL BASE CABINETS ARE 24" DEEP UNLESS NOTED OTHERWISE. ALL WALL CABINETS ARE 12" DEEP UNLESS NOTED
- OTHERWISE. AT ACCESSIBLE UNITS; CASEWORK CONSTRUCTION # INSTALLATION SHALL COMPLY WITH ADA AND UFAS.
- ALL CASEWORK TOE KICKS SHALL BE FINISHED 9" HIGH WITH MATCHING WOOD SKIN; TYP.
- KRAFTMAID PASSPORT SERIES IS THE BASIS FOR DESIGN FOR KITCHEN CABINETS. IO. PROVIDE VALENCIA EDGE (NO LAMINATE) AT ALL BACKSPLASH AND COUNTERTOP EDGES.

	BATHROOM NOTES	
Key Value	Keynote Text	
1	ADA COMPLIANT WATER CLOSET; SEE SCHEDULE	
2	ADA COMPLIANT LAVATORY AND FAUCET; COORDINATE W/ PLUMBING DRAWINGS.	
4	MIRROR, 18'x36" WITH METAL RIM; SEE MOUNTING SCHEDULE	
5	GRAB BARS; SEE MOUNTING SCHEDULE	
7	ADA COMPLIANT SHOWER UNIT AND CONTINUOUS GRAB BAR, BY G.C.; FITTINGS BY P.C.	
8	RECESSED MEDICINE CABINET 18 x 36	
60.3	CASEWORK	

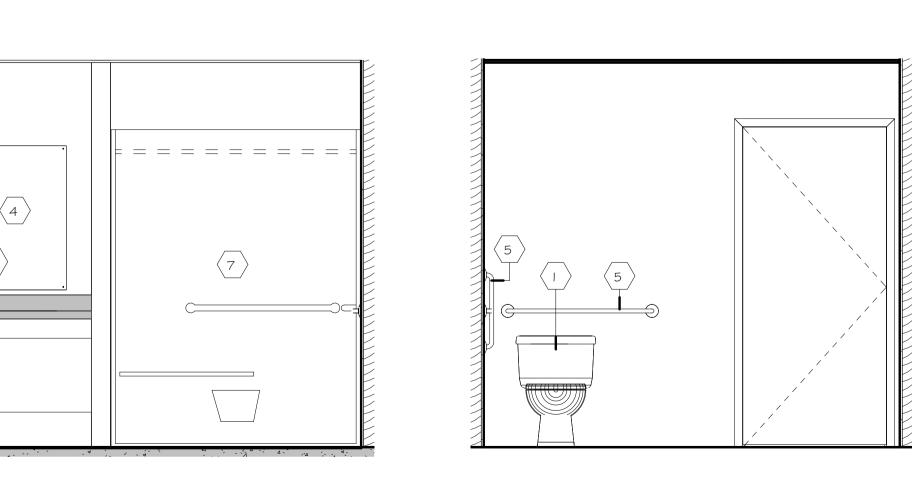












Drawing No.

Drawn By:

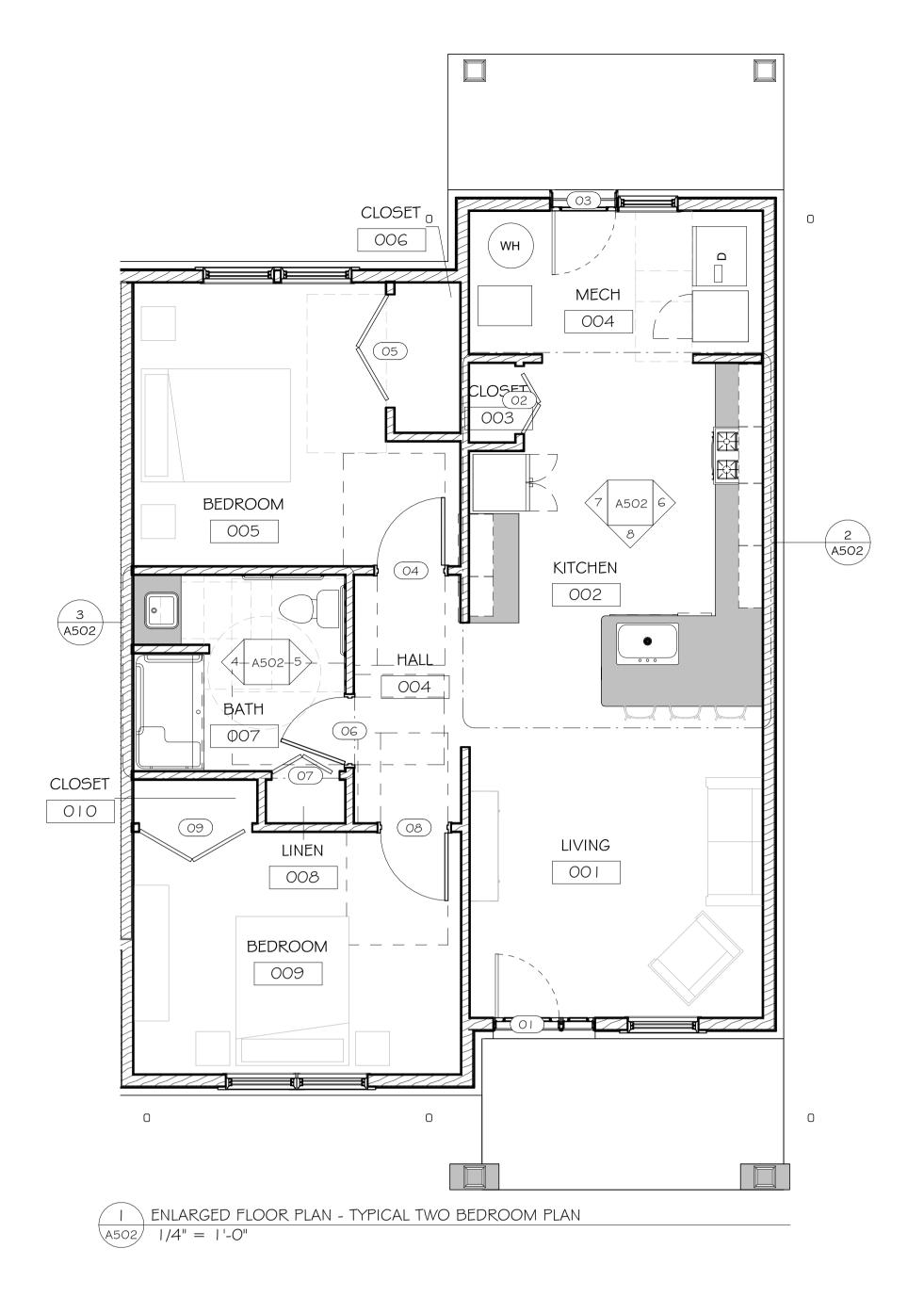
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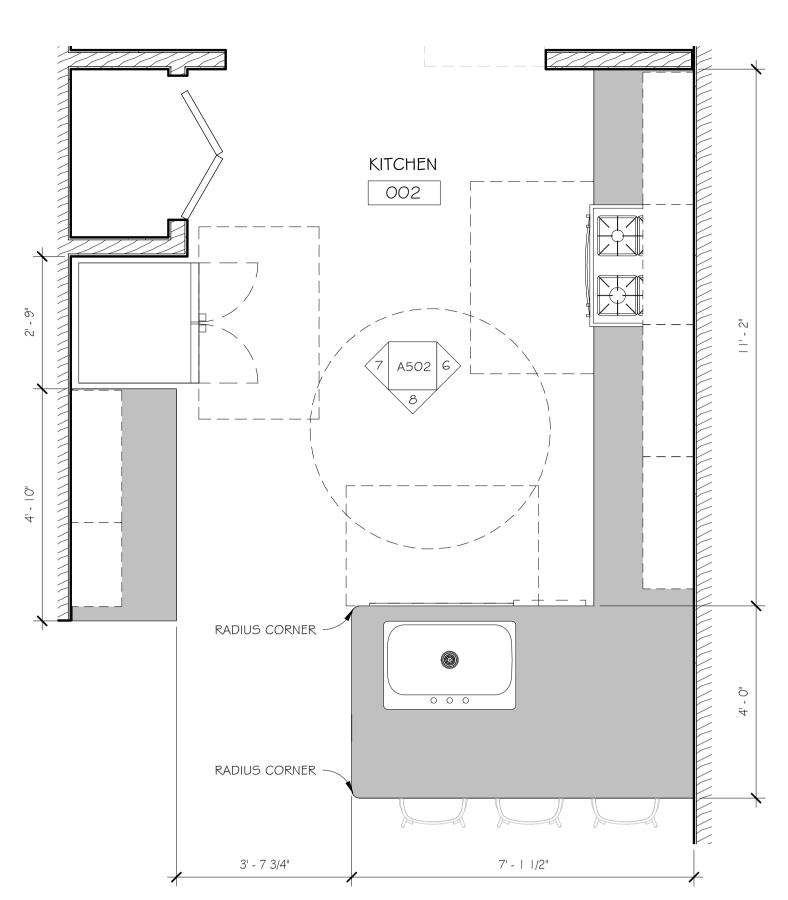
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As indicated

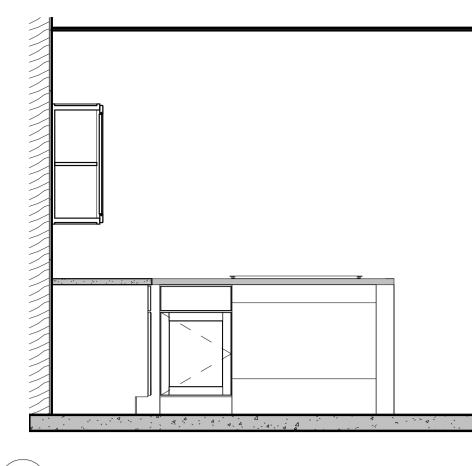
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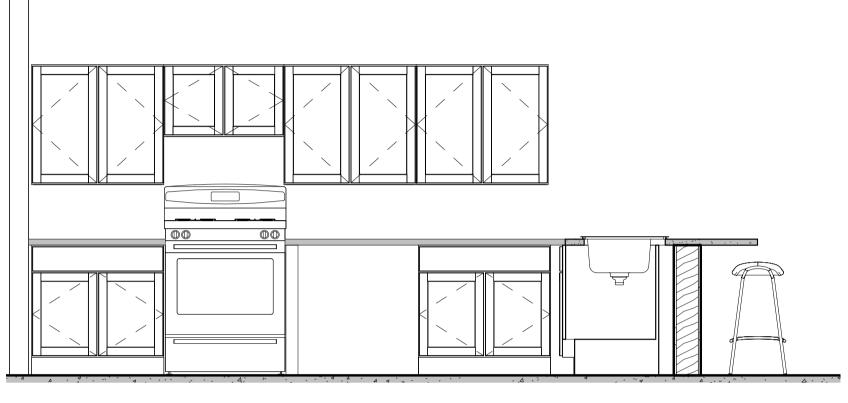








8 KITCHEN CASEWORK ELEVATION A502 1/2" = 1'-0"



CASEWORK

6 KITCHEN CASEWORK ELEVATION
A502 1/2" = 1'-0"

KITCHEN NOTES (THIS SHEET ONLY)

KITCHEN NOTES (THIS SHEET ONLY):

I. ALL DRAWER UNITS SHALL BE EASY GLIDE FULL

- EXTENSION SLIDES WITH BUILT-IN STOPS.

 2. PROVIDE SLIDING TRAYS WITH EASY GLIDE FULL EXTENSION SLIDES WITH BUILT IN STOPS.
- PROVIDE BASIN GUARD AT ALL ACCESSIBLE SINK LOCATIONS.
 PROVIDE PLASTIC LAMINATE COUNTERTOPS W/ 4"
- BACKSPLASH. TOP OF COUNTER SHALL BE 33 1/2"
 AFF. PROVIDE FULL WRAP OF PLASTIC LAMINATE AT NOSING EXPOSED UNDERSIDE OF OVERHANG.
 5. MOUNT WALL CABINETS 48" AFF TO TOP OF
- SURFACE OF BOTTOM OF CONSTRUCTION.

 6. ALL BASE CABINETS ARE 24" DEEP UNLESS NOTED OTHERWISE. ALL WALL CABINETS ARE 12" DEEP UNLESS NOTED OTHERWISE.
- 7. AT ACCESSIBLE UNITS; CASEWORK CONSTRUCTION \$
 INSTALLATION SHALL COMPLY WITH ADA AND UFAS.
- 8. ALL CASEWORK TOE KICKS SHALL BE FINISHED 9"
 HIGH WITH MATCHING WOOD SKIN; TYP.
 9. KRAFTMAID PASSPORT SERIES IS THE BASIS FOR
- DESIGN FOR KITCHEN CABINETS.

 1 O. PROVIDE VALENCIA EDGE (NO LAMINATE) AT ALL
- BACKSPLASH AND COUNTERTOP EDGES.

DOOR S	CHEDULE :	- TWO BEDRO	OM ACCESSIBLE	UNIT			
DOOR #	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	FIRE RATING	ELEV. HW S	BET COMMENTS
FIRST FLOO	OR						
01	3' - 0"	6' - 9 1/2"				В	
02	3' - 0"	6' - 8"	Hollow Metal	None		ВВ	
03	3' - 0"	6' - 9 1/2"				В	
04	3' - 0"	6' - 8"	Wood	Hollow Metal		С	
05	5' - 0"	6' - 8"	Hollow Metal	None		DD	
06	3' - 0"	6' - 8"	Wood	Hollow Metal		С	
07	3' - 0"	6' - 8"	Hollow Metal	None		ВВ	
08	3' - 0"	6' - 8"	Wood	Hollow Metal		С	
09	5' - 0"	6' - 8"	Hollow Metal	None		DD	

	BATHROOM NOTES
Key Value	Keynote Text
1	ADA COMPLIANT WATER CLOSET; SEE SCHEDULE
2	ADA COMPLIANT LAVATORY AND FAUCET; COORDINATE W PLUMBING DRAWINGS.
4	MIRROR, 18"x36" WITH METAL RIM; SEE MOUNTING SCHEDULE
5	GRAB BARS; SEE MOUNTING SCHEDULE
7	ADA COMPLIANT SHOWER UNIT AND CONTINUOUS GRAB BAR, BY G.C.; FITTINGS BY P.C.
8	RECESSED MEDICINE CABINET 18 x 36

		FINISHES							
RM#	ROOM NAME	FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	COMMENTS
IRST FLOO	R								
001	LIVING	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
002	KITCHEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
003	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
004	MECH	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
004	HALL	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
005	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
006	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
007	BATH	LVT	RB	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
008	LINEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
009	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
010	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	

FINISH SCHEDULE NOTES:

- I. G.C. SHALL PROVIDE NEW CORNER GUARDS AT ALL OUTSIDE CORNERS. CORNER GUARDS SHALL BE CS ACROVYN MODEL 55M-20AN OR EQUAL AS APPROVED BY WCHA. CORNER GUARDS SHALL HAVE 2" LEGS AND 1/4" RADIUS EDGE. CORNER GUARDS SHALL EXTEND ENTIRE HEIGHT OF WALL. (ADMIN SUITE)

 2. PAINT ALL NEW/EXISTING GDW; TYPICAL NOTE
- 3. PROVIDE I 6" DEEP VINYL CLAD WIRE SHELVING SYSTEM WITH INTEGRAL CLOTHING ROD AT I 2" AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; MOUNT SHELF AT 48" AFF. (SEE 4/A507)
- 5. PROVIDE VINYL CLAD WIRE SHELVING SYSTEM AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; PROVIDE 3 SHELVES PER CLOSET. (SEE 4/A507)
- GC SHALL PREPARE ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FLOORING. FLOOR PREPARATION SHALL INCLUDE SKIN COATING EXISTING SURFACES TO MEET NEW FLOORING MANUFACTURER'S REQUIREMENTS; NO EXCEPTIONS; TYPICAL NOTE

 1. LVT SHALL BE GLUED DOWN (FULL SPREAD) WITH PRESSURE RELEASE ADHESIVE AS RECOMMENDED BY

ENTEND NEW FLOORING UNDER CABINETS; TYPICAL NOTE

FLOORING MANUFACTURER; TYPICAL NOTE

FINISH SCHEDULE KEY:

LVT: LUXURY VINYL TILE - LOOSE LAY PLANK AS

MANUFACTURED BY SOUTHWIND; OR

APPROVED EQUAL

2 ENLARGED KITCHEN PLAN A502 1/2" = 1'-0"

- CT: CERAMIC TILE (FLOOR) ATTACHE I 2" X 24" AS MANUFACTURED BY DALTILE; OR APPROVED EQUAL
- BULLNOSE TOE AND 1/4" ROUND SHOE; PAINT.

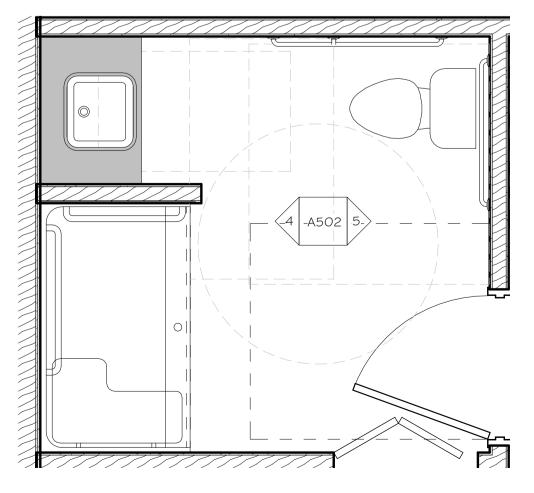
APPROVED EQUAL

RB: RUBBER BASE (6") - PINNACLE PLUS AS

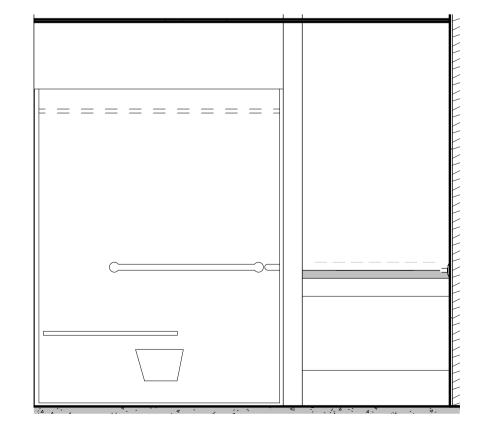
MANUFACTURED BY ROPPE; OR

WD: WOOD BASE - 3 1/2" X 3/4" W/

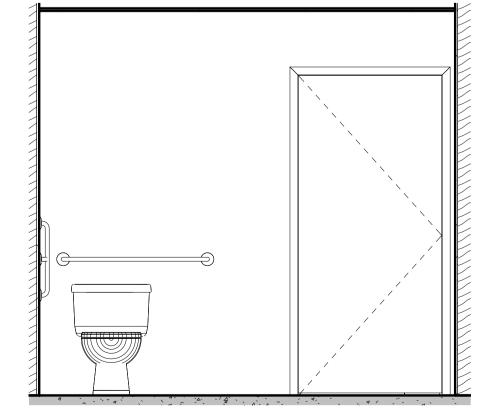
- GDW: GYPSUM DRYWALL
- PT: PAINT



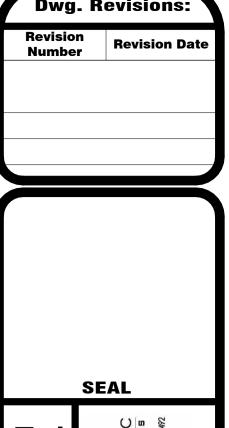




4 BATHROOM ELEVATION
A502 1/2" = 1'-0"



5 BATHROOM ELEVATION
A502 1/2" = 1'-0"



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N / JOHNSTON & ASSOCIATES, LLC

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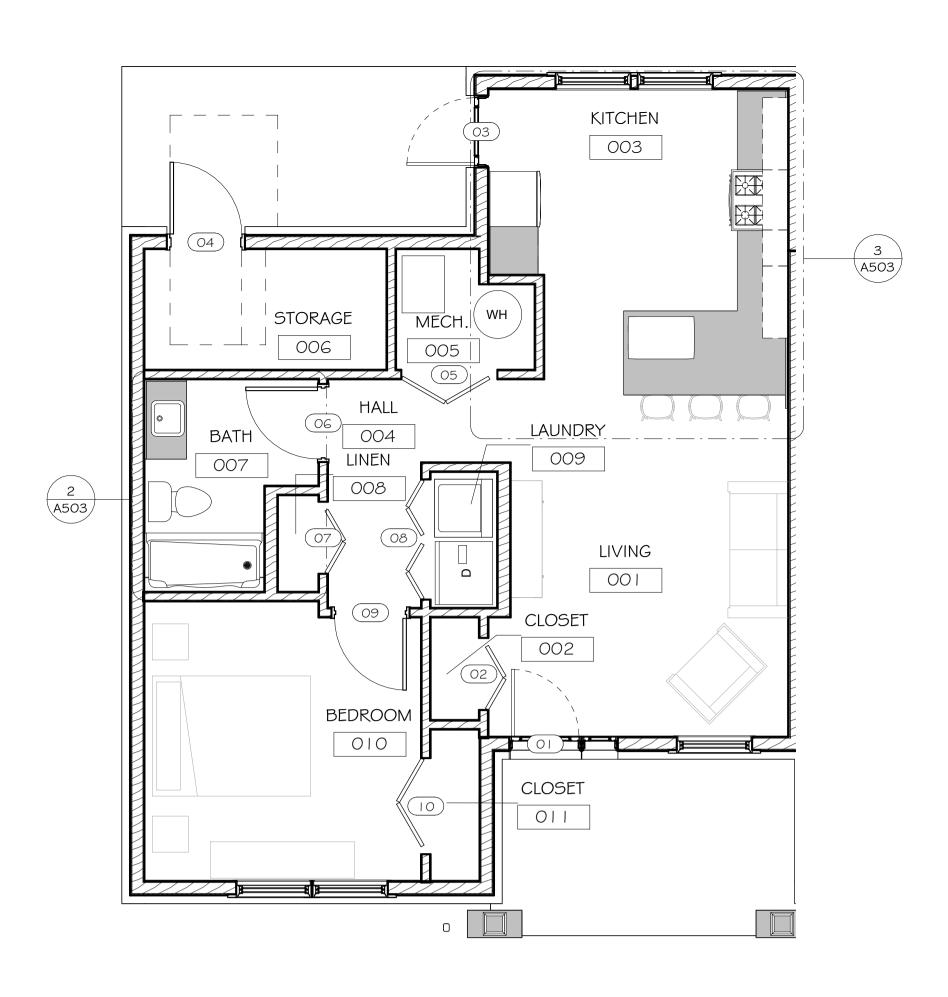
INT TÖWNSHIP, WESTMORELAND
COUNTY, PA
FOR
ON-PROFIT HOUSING CORPORATION

MESTMORELA

WESTMORELA

Date: 11/23/2021
Drawn By: Author
Checked By: Checker
Project No.: 2141
File No.:







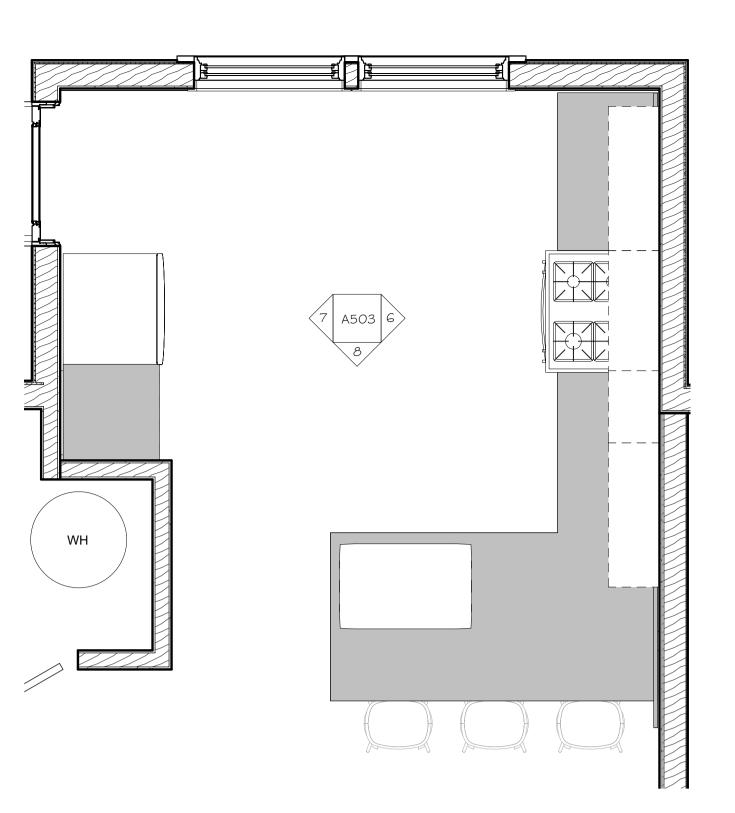
000R #	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	FIRE RATING	ELEV.	HW SET	COMMENTS
			•					
RST FLO	OR							
01	3' - 0"	6' - 9 1/2"				В		
02	3' - 0"	6' - 8"	Hollow Metal	None		ВВ		
03	3' - 0"	6' - 9 1/2"				В		
04	3' - 0"	7' - 0"	Hollow Metal	Hollow Metal		J		
05	4' - 0"	6' - 8"	Hollow Metal	None		СС		
06	3' - 0"	7' - 0"	Wood	Hollow Metal		Н		
07	3' - 0"	6' - 8"	Hollow Metal	None		ВВ		
08	5' - 0"	6' - 8"	Hollow Metal	None		AA		
09	3' - 0"	7' - 0"	Wood	Hollow Metal		Н		
10	4' - 0"	6' - 8"	Hollow Metal	None		СС		

		FINISHES											
RM#	ROOM NAME	FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	COMMENTS				
RST FLOC	DR												
001	LIVING	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
002	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
003	KITCHEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
004	HALL	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
005	MECH.	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
006	STORAGE	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
007	BATH	LVT	RB	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
008	LINEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
009	LAUNDRY	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
010	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					
011	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT					

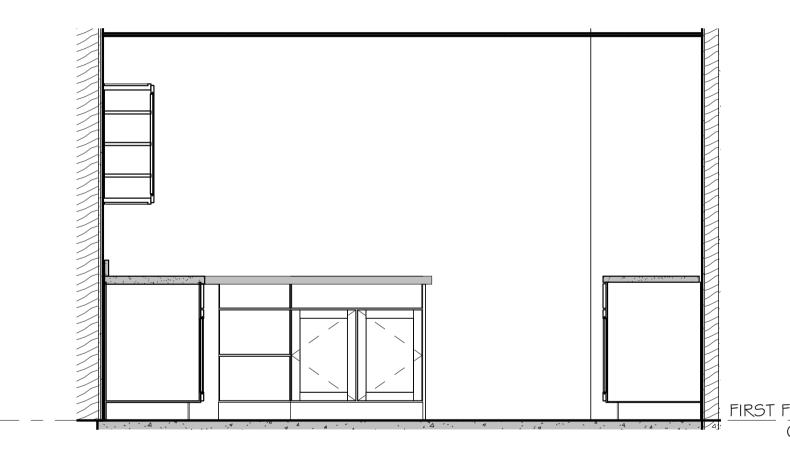
FINISH SCHEDULE NOTES:

- I. G.C. SHALL PROVIDE NEW CORNER GUARDS AT ALL OUTSIDE CORNERS. CORNER GUARDS SHALL BE CS ACROVYN MODEL 55M-20AN OR EQUAL AS APPROVED BY WCHA. CORNER GUARDS SHALL HAVE 2" LEGS AND 1/4" RADIUS EDGE. CORNER GUARDS SHALL EXTEND ENTIRE HEIGHT OF WALL. (ADMIN SUITE)
- PAINT ALL NEW/EXISTING GDW; TYPICAL NOTE PROVIDE 16" DEEP VINYL CLAD WIRE SHELVING SYSTEM WITH INTEGRAL CLOTHING ROD AT 12" AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; MOUNT SHELF AT 48" AFF. (SEE 4/A507)
- ENTEND NEW FLOORING UNDER CABINETS; TYPICAL NOTE PROVIDE VINYL CLAD WIRE SHELVING SYSTEM AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; PROVIDE 3 SHELVES
- PER CLOSET. (SEE 4/A507) 6. GC SHALL PREPARE ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FLOORING. FLOOR PREPARATION SHALL INCLUDE SKIN COATING EXISTING SURFACES TO MEET NEW FLOORING MANUFACTURER'S REQUIREMENTS; NO EXCEPTIONS; TYPICAL NOTE
- 7. LVT SHALL BE GLUED DOWN (FULL SPREAD) WITH PRESSURE RELEASE ADHESIVE AS RECOMMENDED BY FLOORING MANUFACTURER; TYPICAL NOTE

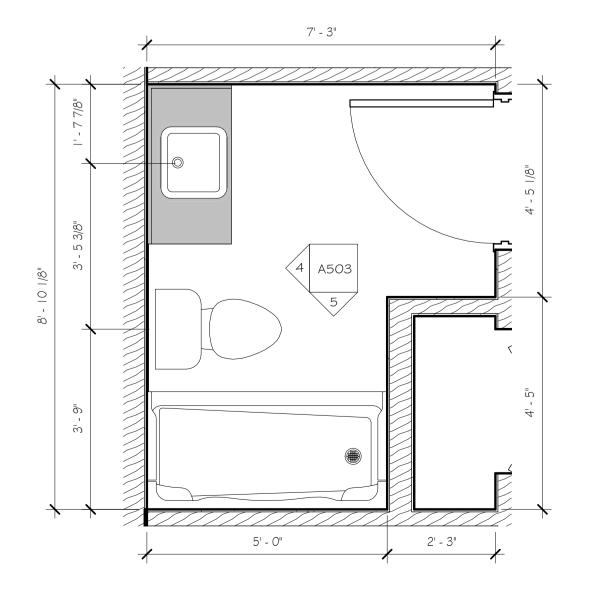
- FINISH SCHEDULE KEY:
- LVT: LUXURY VINYL TILE LOOSE LAY PLANK AS MANUFACTURED BY SOUTHWIND; OR APPROVED EQUAL
- CT: CERAMIC TILE (FLOOR) ATTACHE I 2" X 24" AS MANUFACTURED BY DALTILE; OR APPROVED EQUAL
- WD: WOOD BASE 3 1/2" X 3/4" W/ BULLNOSE TOE AND 1/4" ROUND SHOE; PAINT.
- RB: RUBBER BASE (6") PINNACLE PLUS AS MANUFACTURED BY ROPPE; OR APPROVED EQUAL
- GDW: GYPSUM DRYWALL
- PT: PAINT



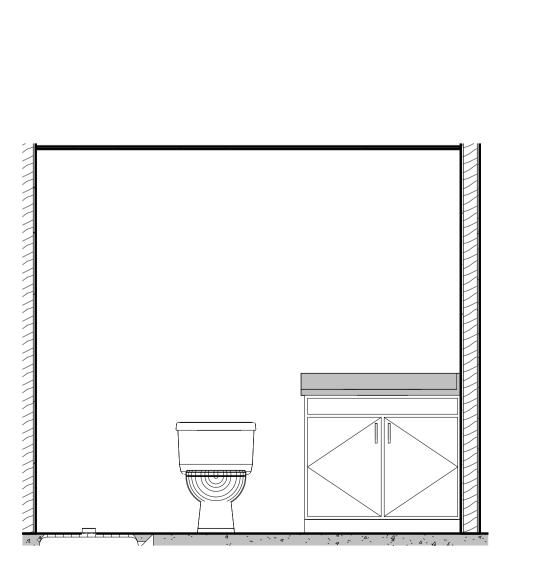
3 ENLARGED KITCHEN PLAN A503 I/2" = I'-O"

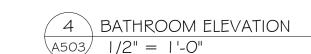


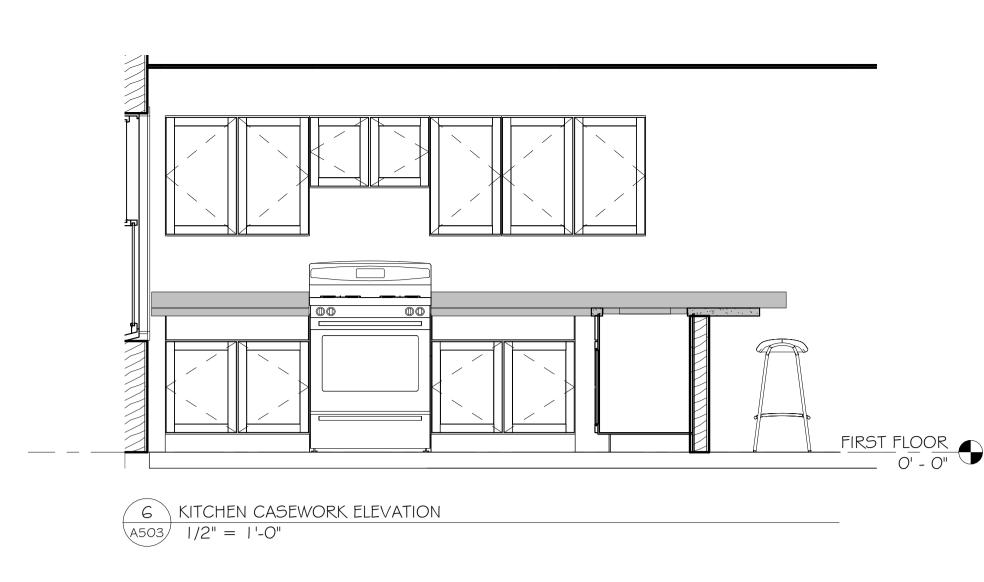
8 KITCHEN CASEWORK ELEVATION
A503 1/2" = 1'-0"

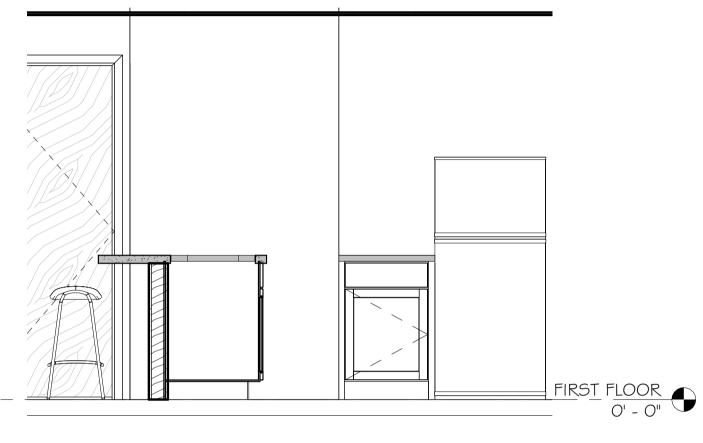


2 ENLARGED BATHROOM PLAN A503 1/2" = 1'-0"









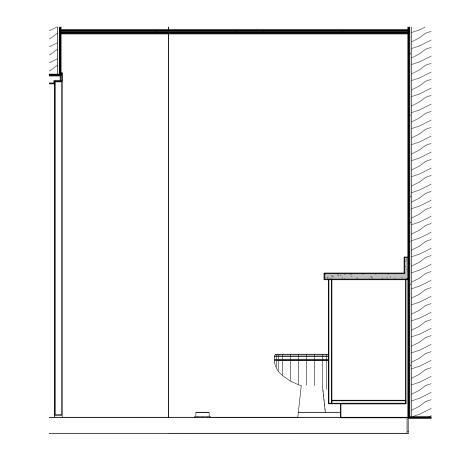
7 KITCHEN CASEWORK ELEVATION
A503 1/2" = 1'-0"

KITCHEN NOTES (THIS SHEET ONLY): ALL DRAWER UNITS SHALL BE EASY GLIDE FULL EXTENSION SLIDES WITH BUILT-IN STOPS.

PROVIDE VALENCIA EDGE (NO LAMINATE) AT ALL BACKSPLASH AND COUNTERTOP EDGES.

- PROVIDE SLIDING TRAYS WITH EASY GLIDE FULL EXTENSION SLIDES WITH BUILT IN STOPS. PROVIDE PLASTIC LAMINATE COUNTERTOPS W/ 4" BACKSPLASH. TOP OF COUNTER SHALL BE 36" AFF. PROVIDE FULL
- WRAP OF PLASTIC LAMINATE AT NOSING EXPOSED UNDERSIDE OF OVERHANG. ALL BASE CABINETS ARE 24" DEEP UNLESS NOTED OTHERWISE. ALL WALL CABINETS ARE 12" DEEP UNLESS NOTED
- KRAFTMAID PASSPORT SERIES IS THE BASIS FOR DESIGN FOR KITCHEN CABINETS.

	BATHROOM NOTES
K a . Malua	Volume to Tout
Key Value	Keynote Text
	ADA COMPLIANT WATER CLOSET; SEE SCHEDULE
	ADA COMPLIANT LAVATORY AND FAUCET; COORDINATE W PLUMBING DRAWINGS.
	MIRROR, 18"x36" WITH METAL RIM; SEE MOUNTING SCHEDULE
	GRAB BARS; SEE MOUNTING SCHEDULE
	ADA COMPLIANT SHOWER UNIT AND CONTINUOUS GRAB BAR, BY G.C.; FITTINGS BY P.C.
b	RECESSED MEDICINE CABINET 1.8 x 3.6



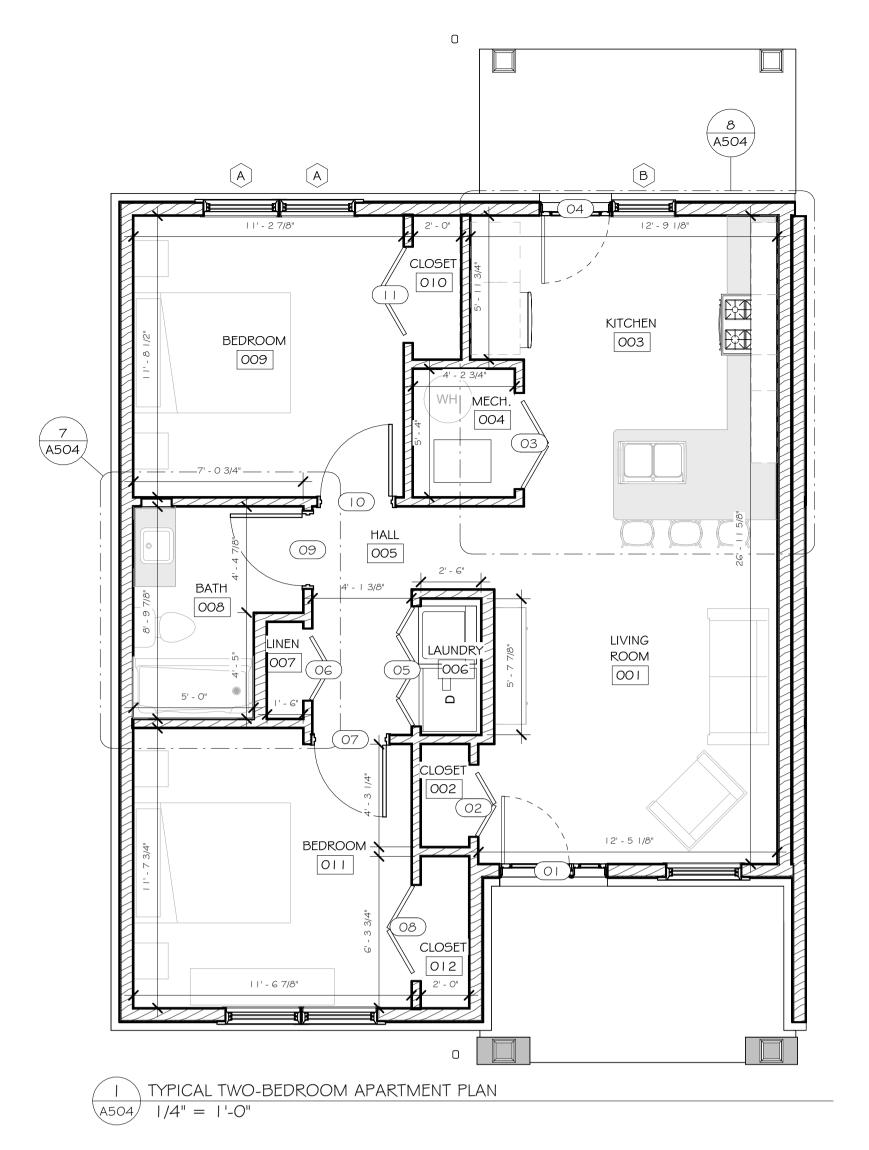
5 BATHROOM ELEVATION

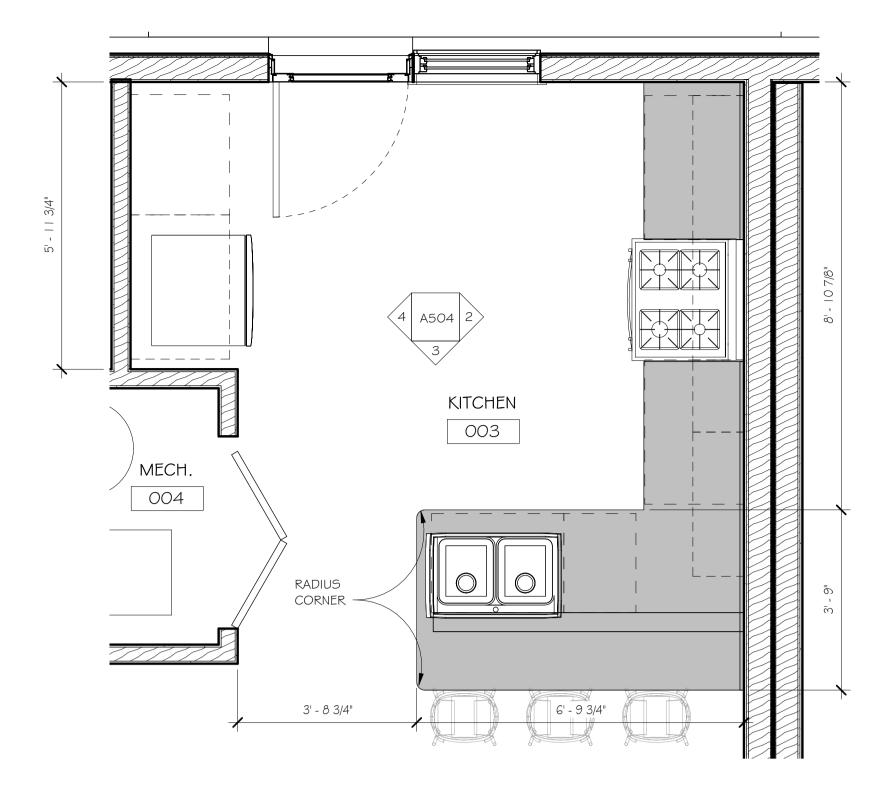


SEAL

As indicated 11/23/2021 Drawn By: Checked By: Project No.: File No.:

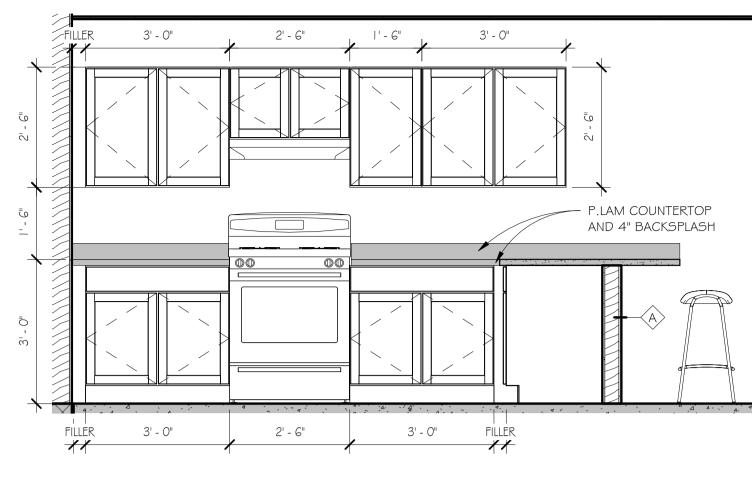
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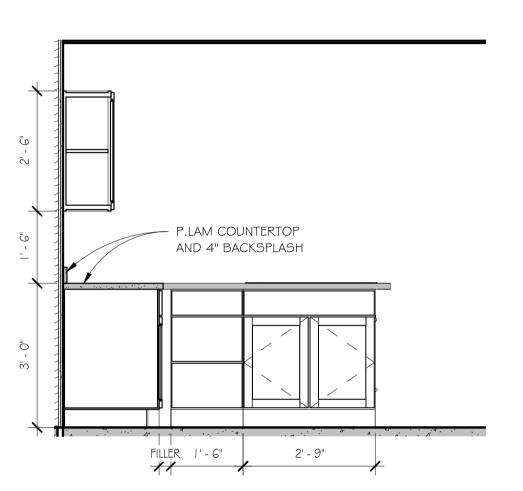


8 ENLARGED KITCHEN PLAN
A504 1/2" = 1'-0"

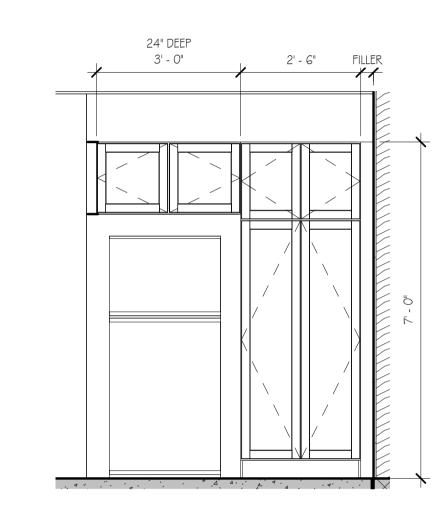
- ALL DRAWER UNITS SHALL BE EASY GLIDE FULL EXTENSION SLIDES WITH BUILT-IN STOPS. PROVIDE SLIDING TRAYS WITH EASY GLIDE FULL EXTENSION SLIDES WITH BUILT IN STOPS.
- PROVIDE PLASTIC LAMINATE COUNTERTOPS W/ 4" BACKSPLASH. TOP OF COUNTER SHALL BE 36" AFF. PROVIDE FULL
- WRAP OF PLASTIC LAMINATE AT NOSING EXPOSED UNDERSIDE OF OVERHANG. 4. ALL BASE CABINETS ARE 24" DEEP UNLESS NOTED OTHERWISE. ALL WALL CABINETS ARE 12" DEEP UNLESS NOTED
- KRAFTMAID PASSPORT SERIES IS THE BASIS FOR DESIGN FOR KITCHEN CABINETS.
- PROVIDE VALENCIA EDGE (NO LAMINATE) AT ALL BACKSPLASH AND COUNTERTOP EDGES.



2 KITCHEN CASEWORK ELEVATION A504 1/2" = 1'-0"



3 KITCHEN CASEWORK ELEVATION A504 1/2" = 1'-0"



4 KITCHEN CASEWORK ELEVATION
A504 1/2" = 1'-0"

BATHROOM NOTES

ADA COMPLIANT WATER CLOSET; SEE SCHEDULE

ADA COMPLIANT LAVATORY AND FAUCET; COORDINATE W/ PLUMBING DRAWINGS.

MIRROR, I 8"x36" WITH METAL RIM; SEE MOUNTING SCHEDULE

GRAB BARS; SEE MOUNTING SCHEDULE

Keynote Text

OOR#	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	FIRE RATING	ELEV.	HW SET	COMMENTS
IRST FLOC	1							
01	3' - 0"	6' - 9 1/2"				В		
02	3' - 0"	6' - 8"	Hollow Metal	None		ВВ		
03	4' - 0"	6' - 8"	Hollow Metal	None		CC		
04	3' - 0"	6' - 9 1/2"				В		
05	5' - 0"	6' - 8"	Hollow Metal	None		AA		
06	3' - 0"	6' - 8"	Hollow Metal	None		ВВ		
07	3' - 0"	7' - 0"	Wood	Hollow Metal		Н		
08	4' - 0"	6' - 8"	Hollow Metal	None		CC		
09	3' - 0"	7' - 0"	Wood	Hollow Metal		Н		
10	3' - 0"	7' - 0"	Wood	Hollow Metal		Н		
11	4' - 0"	6' - 8"	Hollow Metal	None		CC		

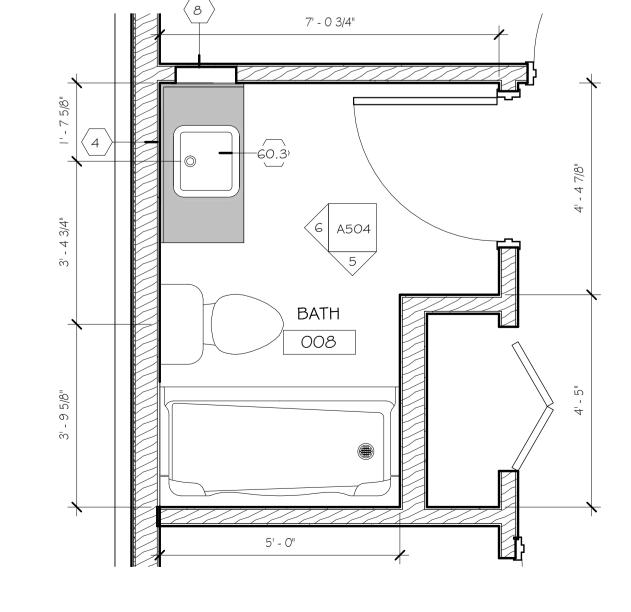
			FINISHES											
RM#	ROOM NAME	FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	COMMENTS					
IRST FLOC	DR.													
001	LIVING ROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
002	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
003	KITCHEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
004	MECH.	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
005	HALL	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
006	LAUNDRY	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
007	LINEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
008	BATH	LVT	RB	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
009	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
010	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
011	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						
012	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT						

- G.C. SHALL PROVIDE NEW CORNER GUARDS AT ALL OUTSIDE CORNERS. CORNER GUARDS SHALL BE CS ACROVYN MODEL 55M-20AN OR EQUAL AS APPROVED BY WCHA. CORNER GUARDS SHALL HAVE 2" LEGS AND 1/4" RADIUS EDGE. CORNER GUARDS SHALL EXTEND ENTIRE HEIGHT OF WALL. (ADMIN SUITE)
- PAINT ALL NEW/EXISTING GDW; TYPICAL NOTE PROVIDE 16" DEEP VINYL CLAD WIRE SHELVING SYSTEM WITH INTEGRAL CLOTHING ROD AT 12" AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; MOUNT SHELF AT 48" AFF. (SEE 4/A507)
- 4. ENTEND NEW FLOORING UNDER CABINETS; TYPICAL NOTE PROVIDE VINYL CLAD WIRE SHELVING SYSTEM AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; PROVIDE 3 SHELVES
- PER CLOSET. (SEE 4/A507) 6. GC SHALL PREPARE ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FLOORING. FLOOR PREPARATION SHALL INCLUDE SKIN COATING EXISTING SURFACES TO MEET NEW FLOORING
- MANUFACTURER'S REQUIREMENTS; NO EXCEPTIONS; TYPICAL NOTE 7. LVT SHALL BE GLUED DOWN (FULL SPREAD) WITH PRESSURE RELEASE ADHESIVE AS RECOMMENDED BY FLOORING MANUFACTURER; TYPICAL NOTE

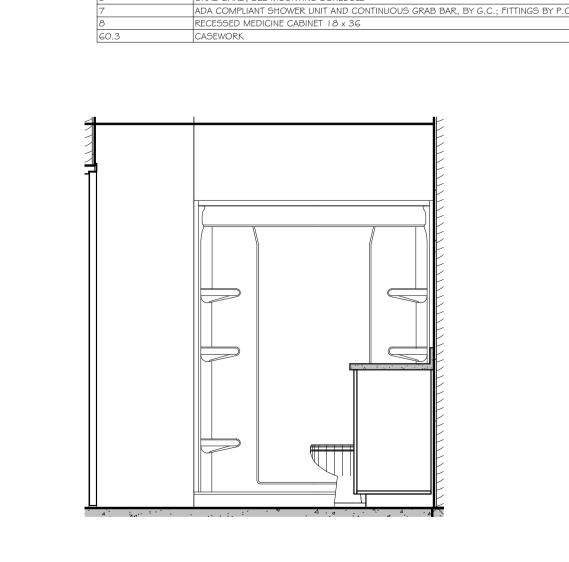
FINISH SCHEDULE KEY:

- LVT: LUXURY VINYL TILE LOOSE LAY PLANK AS MANUFACTURED BY SOUTHWIND; OR APPROVED EQUAL
- CT: CERAMIC TILE (FLOOR) ATTACHE I 2" X 24" AS MANUFACTURED BY DALTILE; OR APPROVED EQUAL
- WD: WOOD BASE 3 1/2" X 3/4" W/ BULLNOSE TOE AND 1/4" ROUND SHOE; PAINT.
- RB: RUBBER BASE (G") PINNACLE PLUS AS MANUFACTURED BY ROPPE; OR APPROVED EQUAL
- GDW: GYPSUM DRYWALL

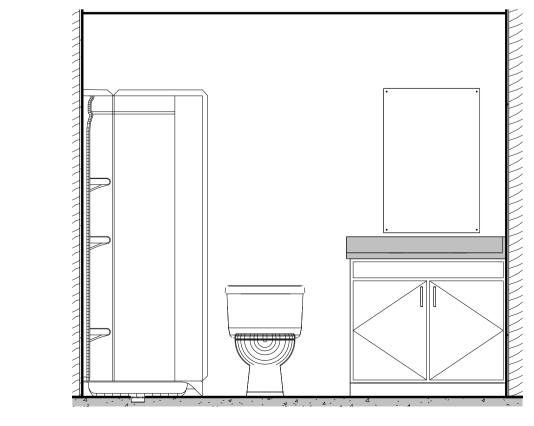
PT: PAINT











6 BATHROOM ELEVATION

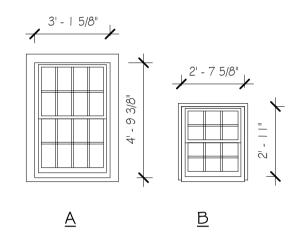
		SNOWWO	P, WESTMORELAND A	NOITY GOOD ON SIN

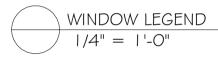
SEAL

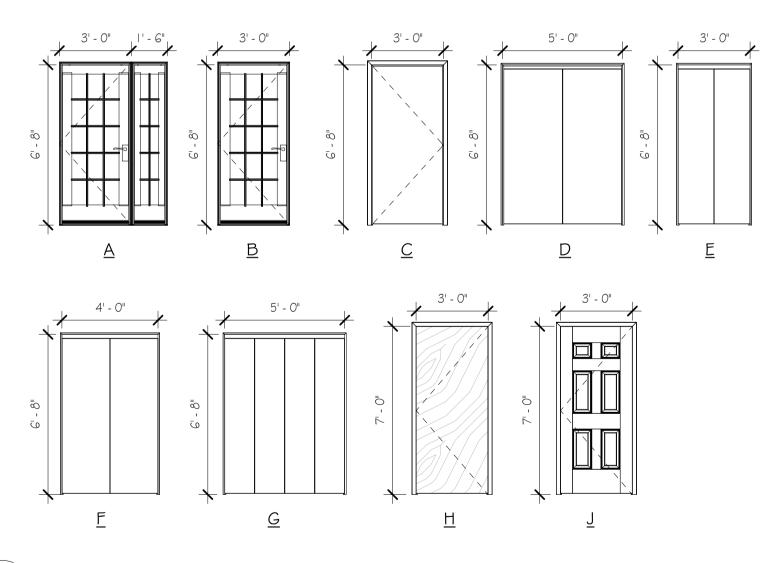
Scale:	As indicated
Date:	11/23/2021
Drawn By:	SD
Checked By:	Checker
Project No.:	2141



WINDOW	SCHEDUL	.E		
WINDOW	WIDTH	HEIGHT	U-VALUE	COMMENTS
Α	3' - 1 5/8"	4' - 8 7/8"		Vinyl-clad wood double hung window
В	2' - 7 5/8"	3' - 0 7/8"		Vinyl-clad wood double hung window







DOOR ELEVATIONS

SEAL



CHURCH VIEW COMMONS

As indicated 11/23/2021 Drawn By: L.MEYER

Drawing No. A601

Checked By: Project No.:

REQUIREMENTS. THESE CODES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: • INTERNATIONAL RESIDENTIAL CODE - 2015 EDITION

• INTERNATIONAL EXISTING BUILDING CODE - 2015 EDITION

• INTERNATIONAL MECHANICAL CODE - 2015 EDITION • INTERNATIONAL PLUMBING CODE - 2015 EDITION

• INTERNATIONAL FUEL GAS CODE - 2015 EDITION • INTERNATIONAL ENERGY CONSERVATION CODE - 2015 EDITION

• NATIONAL ELECTRICAL CODE (NFPA 70) - 2014 EDITION

• INTERNATIONAL FIRE CODE - 2015 EDITION

2 CONTRACTOR IS RESPONSIBLE TO FURNISH ANY AND ALL PERMITS REQUIRED FOR THE INSTALLATION OF THIS WORK. COORDINATE WITH THE LOCAL AUTHORITY HAVING JURISDICTION AND/OR CODE INSPECTORS TO SCHEDULE ALL INSPECTIONS REQUIRED AS APPROPRIATE DURING THE CONSTRUCTION. PROVIDE REMEDIES FOR ANY VIOLATIONS NOTED BY THE INSPECTOR.

3 ALL WORK SHALL BE CONDUCTED IN A SAFE MANNER IN ACCORDANCE WITH OSHA, INDUSTRY AND GOVERNMENT STANDARDS AND GUIDELINES. CONTACT PA ONE CALL PRIOR TO PERFORMING ANY SITE EXCAVATION WORK.

4 PROVIDE ANY/ALL MISCELLANEOUS FITTINGS, BENDS, CONNECTORS, AND APPURTENANCES NECESSARY FOR A COMPLETE AND FUNCTIONAL SYSTEM WHETHER EXPLICITLY SHOWN OR NOT. PROVIDE NAIL PLATES AND SIMILAR PROTECTION FOR SYSTEMS AS REQUIRED BY THE CODE.

5 COORDINATE FINAL LOCATIONS AND MOUNTING HEIGHTS FOR EQUIPMENT, OUTLETS, SWITCHES, ETC. WITH THE OWNER, ANSI A I 17.1 AND CURRENT ADA STANDARDS

6 CONTRACTOR SHALL USE ONLY NEW, HEAVY DUTY, COMMERCIAL GRADE MATERIALS. ALL MATERIALS AND EQUIPMENT USED SHALL BE LISTED AND LABELED FOR THE APPLICATION IN WHICH THEY ARE USED.

7 COORDINATE INSTALLATION OF MECHANICAL, PLUMBING AND ELECTRICAL INSTALLATIONS AROUND OTHER SYSTEMS AND BUILDING STRUCTURE TO AVOID OBSTRUCTIONS AND PRESERVE CLEARANCES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE DETAILED SHOP DRAWINGS WHERE SPACE AND/OR COORDINATION AREAS ARISE AND TO CONFIRM ALL SPACE ALLOCATIONS.

8 LOCATE AND INSTALL COMPONENTS REQUIRING ACCESS SO THAT THEY MAY BE SERVICED, RESET, REPLACED AND/OR RECALIBRATED WITH NORMAL TOOLS AND EQUIPMENT. PROVIDE ARCHITECT-APPROVED ACCESS DOORS IN BUILDING CONSTRUCTION WHEN ACCESS CANNOT OTHERWISE BE PROVIDED. ALLOW PIPING SYSTEMS WITH SLOPE REQUIREMENTS TO HAVE PRIMARY PLACEMENT.

9 OPENINGS MADE FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT AND SYSTEMS SHALL BE NEAT AND OF A MINIMUM SIZE. SEAL AROUND OPENINGS WITH APPROPRIATE MATERIALS TO PRESENT A FINISHED APPEARANCE AND PROVIDE SUITABLE WEATHERPROOFING.

IO INSTALL ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. EQUIPMENT, DEVICES AND MATERIALS OF SIMILAR FUNCTION, TYPE, OR SYSTEM SHALL BE OF THE SAME MANUFACTURER.

I I PROVIDE HANGERS, SUPPORTS, AND SWAY BRACING FOR PIPING, DUCTWORK AND CONDUIT IN ACCORDANCE WITH THE APPROPRIATE CODE AND MATERIAL TYPE AND SECURELY ATTACH TO APPROPRIATE BUILDING STRUCTURE FOR ADEQUATE SUPPORT PROVIDE APPROPRIATELY SIZED SLEEVES WHERE PIPING AND CONDUITS PENETRATE FOUNDATIONS, SLABS, FLOORS OR EXTERIOR WALLS. PROVIDE SEALANT FOR ANY/ALL EXTERIOR WALL PENETRATIONS, INCLUDING FOR SUPPORTS AND FASTENERS DO NOT CUT OR ALTER ANY STRUCTURAL MEMBERS OR COMPONENTS WITHOUT THE WRITTEN PERMISSION AND APPROVAL OF THE ARCHITECT AND/OR REGISTERED DESIGN PROFESSIONAL.

12 CONTRACTOR IS RESPONSIBLE TO DISPOSE OF ALL DEMOLITION AND CONSTRUCTION DEBRIS PROPERLY AND IN ACCORDANCE WITH APPLICABLE LOCAL AND ENVIRONMENTAL REGULATIONS. EACH CONTRACTOR IS RESPONSIBLE TO PATCH ANY/ALL OPENINGS MADE IN WALLS, CEILINGS AND FLOORS DURING PERFORMANCE OF THEIR WORK UNLESS OTHERWISE NOTED. CUTTING AND PATCHING SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR. PATCH WORK SHALL MATCH EXISTING CONDITIONS IN BOTH APPEARANCE AND FUNCTION.

13 PROVIDE FIRE PROOFING MATERIALS NECESSARY TO MAINTAIN CODE REQUIRED FIRE AND SMOKE BARRIERS AT ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEM PENETRATIONS. INSTALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SYSTEMS SHEETS APPROPRIATE FOR THE SPECIFIC INSTALLATION. MAINTAIN SYSTEMS SHEETS ON SITE FOR THE INSPECTORS REFERENCE DURING INSPECTIONS.

14 PROTECT ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS AND EQUIPMENT DURING AND AFTER CONSTRUCTION UNTIL THE OWNER BECOMES RESPONSIBLE FOR

15 PROVIDE ALL EXCAVATION, TRENCHING, SHORING, BEDDING, SAWCUTTING AND BACKFILLING AS NECESSARY TO SUPPORT THE MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS INSTALLATIONS. CONTACT THE APPROPRIATE STATE AGENCY AND/OR UTILITIES IN ADVANCE PRIOR TO DIGGING.

16 PROVIDE IDENTIFICATION FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL

SYSTEMS AS REQUIRED BY THE APPLICABLE CODES. 17 DRAWINGS DEPICT GENERAL LOCATIONS FOR NEW \$ EXISTING ITEMS. CONTRACTOR SHALL EXPECT SOME VARIATION AND SHALL ACCOMMODATE WITHOUT ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL VERIFY THE ACTUAL DIMENSIONS OF THE PROPOSED EQUIPMENT TO INSURE THAT EQUIPMENT WILL FIT IN THE AVAILABLE

18 PROVIDE CORROSION-PROOF RODENT/BIRD SCREENS FOR ALL BUILDING OPENINGS, WITH THE EXCEPTION OF THE DRYER VENT, SUCH AS AIR INTAKES, EXHAUSTS, VENTS,

19 PROVIDE MODULAR SEALING DEVICES TO FILL ANNULAR SPACE BETWEEN ALL PIPING, CONDUITS, ETC AND GENERAL BUILDING CONSTRUCTION FOR ALL PENETRATIONS TO THE EXTERIOR. PRODUCT SHALL CONSIST OF EPDM INTERLOCKED SEALING ELEMENTS AND STAINLESS STEEL PRESSURE PLATES WITH STAINLESS STEEL CONNECTING BOLTS

20 INSTALL ALL UNDERGROUND PIPING AND CONDUITS IN PROPERLY PREPARED TRENCHES. TRENCH SHALL BE EXCAVATED SO AS TO PROVIDE FIRM AND UNIFORM SUPPORT. PROVIDE SAND BEDDING FREE OF STONES AND ROCKS. PROVIDE 12" SAND BACKFILL AND FIRMLY HAND TAMP. PROVIDE CONTROLLED BACKFILL FOR REMAINDER OF TRENCH DEPTH, COMPACTING IN 8" LIFTS. PROVIDE APPROPRIATELY LABELED DETECTABLE WARNING TAPE | 2" ABOVE ALL UNDERGROUND PIPING AND CONDUITS. PROVIDE MATERIALS NECESSARY TO MATCH TRENCH TO EXISTING GRADE

2 | CONTRACTOR SHALL WARRANT AND GUARANTEE, FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE DATE OF OWNER ACCEPTANCE, ALL MATERIALS, EQUIPMENT AND WORKMANSHIP. CONTRACTOR SHALL INSPECT, REPAIR AND/OR REPLACE ANY DEFECTIVE EQUIPMENT OR SYSTEM COMPONENTS IN A TIMELY MANNER AFTER NOTIFICATION BY THE OWNER WITHIN 90 DAYS OF SYSTEM ACCEPTANCE.

22 PROVIDE AS BUILT DRAWINGS AND OPERATING AND MAINTENANCE MANUALS TO THE BUILDING OWNER UPON COMPLETION OF THE PROJECT WITHIN 90 DAYS OF SYSTEM

23 THE NOTES OF THIS SHEET AND PROJECT SPECIFICATIONS APPLY TO ALL CONTRACTORS. INDIVIDUAL TRADES SCOPE IS INDICATED ON TRADE SPECIFIC

24 PROVIDE EQUIPMENT SUBMITTALS UNDER THE PROVISIONS OF THE DIVISION I SPECIFICATIONS OR IN DUPLICATE ABSENT DIVISION I SPECIFICATIONS. NO EQUIPMENT SHALL BE INSTALLED WITHOUT PRIOR ACCEPTANCE BY THE ARCHITECT AND/OR ENGINEER.

ELECTRICAL NOTES

PROVIDE AND UTILIZE NECESSARY SAFETY EQUIPMENT WHEN WORKING WITH EXISTING, ENERGIZED ELECTRICAL EQUIPMENT.

TEST ALL ELECTRICAL CONNECTIONS AND COMPONENTS PRIOR TO ENERGIZING

SYSTEM AND CORRECT ALL DEFICIENCIES IDENTIFIED. 3 ALL CONDUCTORS SHALL BE COPPER, SINGLE CONDUCTORS, MINIMUM SIZE #12,

UNO. MINIMUM RACEWAY SIZE SHALL BE 3/4". PROVIDE CONDUCTORS, CABLING, RACEWAYS AND BOXES PER ALL CODE REQUIREMENTS.

4 ALL GROUNDING ELECTRODE CONDUCTORS, EQUIPMENT GROUNDS AND BONDING JUMPERS SHALL BE COPPER AND SOLID FOR #8 AND SMALLER CONDUCTORS. PROVIDE GROUNDING CONNECTIONS AND COMPONENTS IN ACCORDANCE WITH ALL CODE REQUIREMENTS.

PROVIDE COPPER GROUNDING CONDUCTOR TO METAL WATER SERVICE ENTRANCE PIPE. PROVIDE BRAIDED TYPE BONDING JUMPER AROUND WATER METER. PROVIDE ADDITIONAL COPPER GROUNDING CONDUCTORS TO BUILDING STEEL, CONCRETE REBAR, AND OTHER METAL PIPING SYSTEMS AS APPLICABLE. ALL GROUNDING ELEMENTS SHALL BE SIZED IN ACCORDANCE WITH THE CODE. CONTRACTOR SHALL TEST AND REPORT ANY GROUND RESISTANCE GREATER THAN 10 OHMS.

PROVIDE SOLID CONDUCTORS FOR #10 CONDUCTORS AND SMALLER, PROVIDE STRANDED CONDUCTORS FOR LARGER CONDUCTORS. PROVIDE A FULL SIZE NEUTRAL CONDUCTOR AND INSULATED EQUIPMENT GROUNDING CONDUCTOR FOR EACH BRANCH CIRCUIT AND FEEDER, UNO.

INSTALL ALL CONDUCTORS AND CABLES IN ACCORDANCE WITH CODE REQUIREMENTS AND NETA STANDARDS. CONDUCTORS ARE SIZED BASED ON A MINIMUM OF 75°C EQUIPMENT TERMINALS. AS NECESSARY, INCREASE CONDUCTOR SIZES, AT NO ADDITIONAL COST TO THE OWNER, WHEN 60°C EQUIPMENT TERMINALS ARE INSTALLED. ALL CONDUCTORS AND RACEWAYS SHALL BE INSTALLED CONCEALED WITHIN BUILDING SYSTEMS WITHOUT WRITTEN PERMISSION BY THE ARCHITECT. PROVIDE ALL NECESSARY SUPPORTS AND INSTALL ALL CONDUCTORS PARALLEL AND PERPENDICULAR TO BUILDING STRUCTURAL MEMBERS. SPRING STEEL SUPPORTS ARE PERMITTED FOR RACEWAYS I" AND SMALLER

PROVIDE I" CONDUIT WITH SINGLE GANG BOX AND MUDRING AT EACH DATA DROP SHOWN. COORDINATE FINAL LOCATIONS WITH OWNER. PROVIDE APPROPRIATE DEVICE AND DATA CABLING HOMERUN BETWEEN DEVICE AND HEADEND EQUIPMENT. PROVIDE TERMINATIONS AT BOTH ENDS. TEST CABLE TO MINIMUM CATEGORY 6E REQUIREMENTS.

9 AS NECESSARY, INCREASE CONDUCTOR SIZES, AT NO ADDITIONAL COST TO THE OWNER, TO LIMIT VOLTAGE DROP IN FEEDERS TO 2% AND BRANCH CIRCUITS TO 3% AT DESIGN LOADS.

10 PROVIDE 6"-12" SLACK AT ALL WIRING DEVICES. PROVIDE TAMPER-RESISTANT RECEPTACLES IN ALL DWELLING UNITS.

I I COORDINATE WITH THE LOCAL ELECTRICAL UTILITY PROVIDER FOR CONNECTION DETAILS AND REQUIREMENTS. PROVIDE ALL "CUSTOMER SUPPLIED" MATERIALS REQUIRED BY THE UTILITY AT NO ADDITIONAL COST TO THE OWNER.

MECHANICAL NOTES

PROVIDE 26 GAUGE, GALVANIZED SHEET METAL LOW PRESSURE DUCTWORK WITH SLIP FITTINGS IN ACCORDANCE WITH SMACNA, NFPA 90A AND NFPA 90B STANDARDS. SEAL ALL DUCTWORK SEAMS WITH APPROVED UL 181A OR UL 181B MATERIALS. PROVIDE DUCT STRAPS AND SUPPORTS IN ACCORDANCE WITH SMACNA STANDARDS. PROTECT DUCT OPENINGS DURING CONSTRUCTION AND CLEAN NEW DUCT SYSTEMS PRIOR TO BALANCING.

PROVIDE UL 181, CLASS I LISTED, INSULATED, FLEXIBLE DUCT AT EACH DIFFUSER/REGISTER CONNECTION. FLEXIBLE DUCT SHALL BE 2-PLY VINYL FILM SUPPORTED WITH HELICALLY WOUND SPRING-STEEL WIRE WITH FIBROUS-GLASS INSULATION AND POLYETHYLENE VAPOR BARRIER FILM. DUCT INSULATION SHALL COMPLY WITH ASHRAE/IESNA 90.1. FLEXIBLE DUCT SHALL BE LIMITED TO 6' TOTAL LENGTH AND SHALL BE INSTALLED AND SUPPORTED FULLY ELONGATED. FLEXIBLE DUCT SHALL BE CLAMPED TO METAL DUCTS WITH NYLON STRAPS.

DUCT INSULATION WITHIN THE BUILDING THERMAL ENVELOPE SPACE SHALL BE R-6. ALL INSULATION SHALL MEET THE REQUIREMENTS LIMITS OF 25/50 FOR FLAME AND SMOKE DEVELOPMENT.

PROVIDE ACCESSIBLE BALANCING DAMPERS IN THE BRANCH DUCT AT EACH INDIVIDUAL REGISTER, GRILLE, AND DIFFUSER. PROVIDE FIRE, SMOKE, AND RADIATION DAMPERS NECESSARY TO PROTECT DUCT AND TRANSFER OPENINGS PER THE CODE.

ALL REFRIGERATION WORK SHALL BE PERFORMED BY LICENSED PERSONNEL ACCORDING TO ASHRAE 15. RECLAIM AND DISPOSE OF EXISTING REFRIGERANTS IN ACCORDANCE WITH ALL LAWS. ALL REFRIGERANT PIPING SHALL BE BRAZED, TYPE ACR COPPER, PURGED WITH NITROGEN. TEST ALL PIPING WITH NITROGEN TO PRESSURE APPLICABLE TO APPLICABLE REFRIGERANT PRIOR TO PLACING SYSTEM IN SERVICE. PROVIDE I-1/2" INSULATION WITH VAPOR BARRIER TO PREVENT CONDENSATION. PROVIDE REFRIGERANT AS NECESSARY. PROVIDE A SIGNED CERTIFICATION OF TEST UPON COMPLETION TO THE ENGINEER.

PROVIDE THERMOSTATS, CONTROLLERS, PANELS, WIRING, ETC NECESSARY TO PROVIDE A COMPLETE AND FUNCTIONING AUTOMATIC CONTROL SYSTEM. CONTROLS/THERMOSTAT SHALL PROVIDE A HEATING SETBACK OF 55°F AND COOLING SETBACK OF 85°F, 5°F DEADBAND, WITH A 7-DAY CLOCK, 2-HR OCCUPANT OVERRIDE, AND 10-HR BATTERY BACKUP. PROVIDE TRAINING TO OWNER PERSONNEL UPON COMPLETION OF WORK. COMMISSION CONTROL SYSTEM AND PROVE OPERATION PRIOR TO TRAINING.

TEST, ADJUST, AND BALANCE (TAB) ALL AIR HVAC SYSTEMS CONSTRUCTED OR MODIFIED AS PART OF THIS PROJECT UPON COMPLETION OF THE WORK. TAB WORK SHALL BE PERFORMED BY A NEBB CERTIFIED BALANCING AGENT AND MEET ALL NEBB REQUIREMENTS FOR THE BALANCING OF SYSTEMS SPECIFIC TO THIS WORK. PROVIDE ALL ANCILLARY PARTS, COMPONENTS, AND ADJUSTMENTS TO EQUIPMENT NECESSARY TO ACHIEVE A FULLY FUNCTIONAL SYSTEM. PROVIDE A WRITTEN

REPORT TO THE ENGINEER UPON COMPLETION OF THE BALANCING. PROVIDE GRAVITY BALANCED BACKDRAFT DAMPERS AT ALL EXTERIOR DUCT OPENINGS AS CLOSE AS POSSIBLE TO FAN INLET. DAMPERS SHALL HAVE ADJUSTABLE TENSION RETURN SPRING, STEEL BALL BEARINGS, AND CENTRAL PIVOTED, PARALLEL BLADES WITH VINYL SEALS. ELECTRIC ACTUATORS SHALL BE PROVIDED WHERE MOTOR OPERATED DAMPERS ARE INDICATED. PROVIDE WITH ALUMINUM BIRD SCREEN.

PROVIDE METAL-EDGED, FACTORY FABRICATED, GLASS FABRIC FLEXIBLE CONNECTOR DOUBLE COATED WITH NEOPRENE AT EACH FAN-DUCT CONNECTION

10 PROVIDE ACCESS AND SERVICE SPACE FOR ALL EQUIPMENT IN ACCORDANCE WITH IMC SECTION 306 AND OSHA REQUIREMENTS. PROVIDE PERMANENT ACCESS TO ALL EQUIPMENT INSTALLED OVER 16' ABOVE GRADE AND PROVIDE WORK SPACE PLATFORMS WITH GUARDS AT ALL EQUIPMENT LOCATED ON SLOPED ROOFS. ENSURE A GFCI PROTECTED, I 15V, 20A RECEPTACLE IS LOCATED WITHIN 20' OF EACH PIECE OF EQUIPMENT OR PROVIDE ONE IF NECESSARY.

PLUMBING AND FUEL GAS NOTES

I PROVIDE TESTING EQUIPMENT AND CONDUCT PRELIMINARY AND FINAL TESTING REQUIRED BY THE CODE, AUTHORITY HAVING JURISDICTION AND/OR UTILITY FOR ALL DRAINAGE, VENT, STORM, SEWER, FUEL GAS AND WATER SYSTEMS. CLEAN ALL

PIPING SYSTEMS AFTER INSTALLATION AND PROTECT OPEN ENDS OF PIPING. 2 ALL PIPING SHALL BE RUN PARALLEL OR PERPENDICULAR TO BUILDING WALLS. PROVIDE PIPING, FITTINGS, AND JOINTS PER THE FOLLOWING IN ACCORDANCE WITH ALL CODE REQUIREMENTS:

UNDERGROUND DRAIN, WASTE, VENT - SOLID-WALL PVC SCHEDULE 40, SOLVENT

ABOVE GRADE DRAIN, WASTE, VENT - SOLID-WALL PVC SCHEDULE 40, SOLVENT

• UNDERGROUND STORM - SOLID-WALL PVC SCHEDULE 40, SOLVENT FITTINGS • ABOVE GRADE STORM - SOLID-WALL PVC SCHEDULE 40, SOLVENT FITTINGS

• UNDERGROUND DOMESTIC WATER - TYPE K COPPER, SOLDER FITTINGS ABOVE GRADE DOMESTIC WATER - TYPE L COPPER, SOLDER FITTINGS • NATURAL GAS MAIN AND BRANCH PIPING - SCHEDULE 40 BLACK STEEL, THREADED

 NATURAL GAS BRANCH PIPING OPTION - CORRUGATED, STAINLESS-STEEL TUBING, FITTINGS BY TUBING MANUFACTURER • OIL PIPING - TYPE K COPPER TUBING, BRAZED OR FLARED FITTINGS • CONDENSATE DRAINS - PVC SCHEDULE 40, SOLVENT FITTINGS

3 PROVIDE MATERIALS AND EQUIPMENT WITH LESS THAN 8-PERCENT LEAD CONTENT.

• ALL PIPING IN PLENUM SPACES - COPPER OR STEEL, SOLDER OR THREADED

FLUXES AND SOLDERS SHALL BE LEAD FREE. 4 SLOPE DRAINAGE AND VENT PIPING APPROPRIATELY FOR SIZE AS REQUIRED BY THE CODE. ALL CHANGES OF DIRECTION SHALL BE MADE WITH APPROPRIATE SWEEPS AND BENDS. DO NOT CHANGE DIRECTION OF FLOW GREATER THAN 90 DEGREES. INSTALL BURIED DRAINAGE PIPING BEGINNING AT LOW POINT OF SYSTEM. PLACE HUB ENDS OF PIPING UPSTREAM. REDUCING SIZE OF DRAINAGE PIPING IN DIRECTION OF FLOW IS PROHIBITED. PROVIDE CLEANOUTS AS REQUIRED BY THE CODE, WHETHER EXPLICITLY SHOWN OR NOT.

PROVIDE SPECIAL CONNECTION FITTINGS REQUIRED TO MEET THE CODE WHERE CONNECTIONS ARE MADE TO EXISTING PLUMBING AND NATURAL GAS SYSTEMS PROVIDE ACCESSIBLE FULL-OPEN AND SHUTOFF VALVES IN ACCORDANCE WITH THE CODE AND MANUFACTURER RECOMMENDATIONS, WHETHER EXPLICITLY SHOWN OR NOT. WATER VALVES SHALL BE TWO-PIECE, FULL-PORT BRONZE BALL VALVES WITH BRONZE TRIM, RATED AT 150 PSI. GAS VALVES SHALL BE THREADED BRONZE PLUG VALVES RATED AT 125 PSIG. LOCATE VALVES TO ALLOW FULL STEM MOVEMENT AND PROVIDE STEM EXTENSIONS FOR ALL VALVES ON INSULATED PIPING SYSTEMS. PROVIDE VALVES AT EACH PIECE OF EQUIPMENT CONNECTED TO A PIPING SYSTEM UNLESS PROHIBITED BY CODE.

7 PROVIDE FLASHINGS REQUIRED FOR BUILDING ENVELOPE PENETRATIONS ASSOCIATED WITH THE PLUMBING SYSTEMS TO MAINTAIN THE BUILDING ENVELOPE IN ITS UNALTERED CONDITION. PROVIDE INSULATION SHIELDS WHERE FUEL GAS VENTS PENETRATE INSULATED ASSEMBLIES.

8 LOCATE PLUMBING AND FUEL GAS VENTS AS REQUIRED BY THE CODE, AWAY FROM BUILDING OPENINGS, AND AS AUTHORIZED BY THE ARCHITECT. PROVIDE INSECT SCREENS AND TERMINATIONS AS REQUIRED BY THE CODE. ALL NEW VENTS THROUGH THE ROOF SHALL BE 3" AND TERMINATE A MINIMUM 12" ABOVE THE ROOF, OR AS DIRECTED BY THE PLUMBING CODE.

9 NOTIFY THE ARCHITECT IMMEDIATELY IF THE WATER PRESSURE FROM THE STREET IS INSUFFICIENT TO PROVIDE THE CODE AND/OR MANUFACTURER REQUIRED FLOW

10 ALL DOMESTIC WATER SYSTEM COMPONENTS SHALL BE NSF 61 COMPLIANT AND RATED FOR 125 PSIG MINIMUM. DISINFECT WATER SYSTEM AFTER CONSTRUCTION AND PROVIDE TESTING TO PROVE NO CONTAMINATION EXISTS. PROVIDE WRITTEN AND SIGNED REPORTS TO ARCHITECT.

II DOMESTIC HOT WATER SHALL BE LIMITED TO 140°F, MAXIMUM. TEMPERED WATER AND WATER DELIVERED AT A FIXTURE SHALL NOT EXCEED I I O°F, UNO. PROVIDE ALL HOT WATER INSULATION WHERE REQUIRED BY THE APPLICABLE ENERGY CODE. 12 PROVIDE UNIONS, DRIPS AND SEDIMENT TRAPS AT EACH PIECE OF GAS UTILIZATION

EQUIPMENT AS REQUIRED BY THE CODE AND/OR MANUFACTURER RECOMMENDATIONS.

13 PROVIDE PRESSURE REGULATORS AT EACH PIECE OF GAS UTILIZATION EQUIPMENT SUITABLE FOR THE SYSTEM PRESSURE AND EQUIPMENT. PROVIDE A VENT IN ACCORDANCE WITH THE CODE FOR ALL PRESSURE REGULATORS.

14 PROVIDE CONDENSATE DRAIN SYSTEM FOR ALL REQUIRED FUEL BURNING APPLIANCES AND AIR CONDITIONING COILS INCLUDING TRAP, AUXILIARY DRAIN SYSTEM, AND PIPING FROM DRAINS. CONNECT FUEL BURNING APPLIANCE AND AIR CONDITIONING CONDENSATE DRAIN TO SANITARY WASTE OR STORM SYSTEM, AS PERMITTED BY THE LOCAL AUTHORITY. PROVIDE COMPLETE CODE MANDATED AUXILIARY DRAIN SYSTEM OF PIPING OR WATER LEVEL DETECTION AT CONTRACTORS OPTION.

15 PROVIDE INSULATION ON ALL EXPOSED PLUMBING PIPING AT HANDICAPPED ACCESSIBLE FIXTURES AS REQUIRED BY THE CODE, ANSI A I 17.1 AND CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN.

16 PROVIDE 1/2" FLEXIBLE ELASTOMERIC INSULATION ON ALL WATER PIPING WITHIN EXTERIOR WALLS. INSTALL INSULATED PIPING ON WARM SIDE OF EXTERIOR WALL INSULATION, AS CLOSE TO INTERIOR FACE OF WALL AS PRACTICAL AND WITHOUT CRIMPING EXTERIOR INSULATION. PROVIDE 1/2" FIBERGLASS INSULATION ON THE FIRST 8 FEET OF DOMESTIC HOT WATER PIPING FROM THE HOT WATER HEATER. WHERE RECIRCULATION PUMPS ARE INDICATED, THE ENTIRE DOMESTIC HOT WATER SYSTEM SHALL BE INSULATED WITH I" FIBERGLASS INSULATION. ALL INSULATION SHALL HAVE A THERMAL CONDUCTIVITY NOT EXCEEDING 0.27 BTU/(INCH/H*SF*°F) AND MEET THE REQUIREMENTS LIMITS OF 25/50 FOR FLAME AND SMOKE DEVELOPMENT. PROVIDE WIRING AND EQUIPMENT TO MOUNT REMOTE MONITORING EQUIPMENT REQUIRED BY THE WATER AUTHORITY, IF REQUIRED. COORDINATE WITH THE LOCAL

AUTHORITY FOR REQUIREMENTS. 17 COORDINATE WITH THE LOCAL WATER, WASTEWATER, AND NATURAL GAS AUTHORITIES/UTILITIES FOR CONNECTION DETAILS AND REQUIREMENTS. PROVIDE ALL "CUSTOMER SUPPLIED" MATERIALS REQUIRED BY THE AUTHORITIES/UTILITIES AT NO ADDITIONAL COST TO THE OWNER.

18 PROVIDE ONE-PIECE, CAST BRASS, CHROME PLATED ESCUTCHEONS AT ALL PIPING PENETRATIONS THROUGH FINISHED SURFACES.

19 PROVIDE PIPING SUPPORTS SPACED IN ACCORDANCE WITH THE CODE. STEEL PIPING SUPPORTS SHALL BE CARBON STEEL, CLEVIS TYPE. COPPER PIPING SUPPORTS SHALL BE COPPER. SUPPORT WATER AND GAS PIPING INDEPENDENTLY AT EACH VALVE AND PIECE OF EQUIPMENT. SUPPORT HORIZONTAL PLUMBING PIPING AT EACH FITTING AND COUPLING. SUPPORT VERTICAL PLUMBING PIPING AT BASE AND AT EACH FLOOR. PIPING INSULATION SHALL BE PROTECTED FROM CRUSHING BY SHIELDS OR OTHER APPROVED MANNER.

20 20.PROVIDE DIELECTRIC NIPPLES AT ALL TRANSITIONS BETWEEN FERROUS AND NON-FERROUS PIPING. NIPPLES SHALL BE STEEL, THREADED, LINED WITH AN INERT MATERIAL AND RATED AT 300 PSI. PROVIDE SHUTOFF VALVE IMMEDIATELY

UPSTREAM OF EACH DIELECTRIC FITTING. 21 INSTALL CAST IRON WASTE AND VENT PIPING IN ACCORDANCE WITH CISPI'S "CAST IRON SOIL PIPE AND FITTINGS HANDBOOK". INSTALL ABOVEGROUND AND UNDERGROUND PVC PIPING IN ACCORDANCE WITH ASTM D 2665 AND ASTM D 2321, RESPECTIVELY.

22 ALL INDOOR FUEL GAS PIPING SHALL BE PAINTED YELLOW OR OTHERWISE IDENTIFIED ALONG ITS ENTIRE LENGTH. ALL OUTDOOR FUEL GAS PIPING SHALL BE PAINTED TO MATCH BUILDING WITH TWO COATS OF EXTERIOR GRADE EPOXY PAINT.

A AAV AC ACCU AF AFF AFG AFR AIC ALT ARCH	AMP(S) AIR ADMITTANCE VALVE ABOVE COUNTER AIR COOLED CONDENSING UNIT AMP FRAME	LAT LAV LBS	LEAVING AIR TEMPERATURE LAVATORY POUNDS
AC ACCU AF AFF AFG AFR AIC ALT	ABOVE COUNTER AIR COOLED CONDENSING UNIT AMP FRAME	LBS	
ACCU AF AFF AFG AFR AIC ALT	AIR COOLED CONDENSING UNIT AMP FRAME		POUNDS
AF AFF AFG AFR AIC ALT	AMP FRAME	MAX	
AFF AFG AFR AIC ALT		MAX	
AFF AFG AFR AIC ALT			MAXIMUM
AFG AFR AIC ALT	ABOVE FINISHED FLOOR	MBH	1000 BTUS
AFR AIC ALT	ABOVE FINISHED GRADE	MC	MECHANICAL CONTRACTOR
AIC ALT			
ALT	ABOVE FINISHED ROOF	MCB	MAIN CIRCUIT BREAKER
	AMPERES INTERRUPTING CURRENT	MIN	MINIMUM
V D C H	ALTERNATE	MUA	MAKE UP AIR
ANCII	ARCHITECT	MV	MIXING VALVE
AT	AMP TRIP		
AWG	AMERICAN WIRE GAUGE	NCO	NON-CONTINUOUS OTHER
, ,,,, c		NG	NATURAL GAS
P.C	DENIEATH COLINITED		NOT IN CONTRACT
BC	BENEATH COUNTER	NIC	
BFF	BELOW FINISHED FLOOR	NTS	NOT TO SCALE
BFG	BELOW FINISHED GRADE		
BFP	BACKFLOW PREVENTER	OED	OPEN END DUCT
BTU	BRITISH THERMAL UNIT	OSA	OUTSIDE AIR
		OTH	OTHER
С	CONDUIT	9	5 2
		DD.	PIIII BOV
CFM	CUBIC FEET PER MINUTE	PB	PULL BOX
CKT	CIRCUIT	PC	PLUMBING CONTRACTOR
CO	CONTINUOUS OTHER	PNL	PANEL
CO	CLEAN OUT		
CU	COPPER	RA	RETURN AIR
CW	COLDWATER	RCP	REFLECTED CEILING PLAN
311		RG	RETURN GRILLE
DEMO	DEMOLITION		
DEMO	DEMOLITION	RPM	REVOLUTIONS PER MINUTE
DISC	DISCONNECT		
Ø	DIAMETER	SA	SUPPLY AIR
		SAN	SANITARY
EC	ELECTRICAL CONTRACTOR	SD	SMOKE DETECTOR
EF	EXHAUST FAN	SF	SQUARE FEET
EMT	ELECTRICAL METALLIC TUBING	SH	SHOWER
ET	EXPANSION TANK	SK	SINK
ETR	EXISTING TO REMAIN	SR	SUPPLY REGISTER
		55	STAINLESS STEEL
F	DEGREE FAHRENHEIT		
FCO	FLOOR CLEANOUT		TEMPERATURE DIFFERENTIAL
FLA	FULL LOAD AMPS	TV	TELEVISION
	TOLL LOAD AIVII 3		
		TYP	TYPICAL
G	GROUND CONDUCTOR		
GC	GENERAL CONTRACTOR	UC	UNDER COUNTER
GCO	GRADE CLEAN OUT	UL	UNDERWRITERS LABORATORY
GFI	GROUND FAULT CIRCUIT INTERRUPTER	UNO	UNLESS NOTED OTHERWISE
GND	GROUND		
3112		V	VENT
1140	LIEATING AND COOLING		
HAC	HEATING AND COOLING	V	VOLTAGE
HB	HOSE BIBB	VA	VOLT-AMPERES
HC	HEATING CONTRACTOR	VD	MANUAL VOLUME DAMPER
HOA	HAND-OFF-AUTOMATIC	VTR	VENT THRU ROOF
HP	HORSEPOWER		
HS	HAND SINK	W	WASTE
HVAC	HEATING, VENTILATION & AIR CONDITIONING	W	WATT
HW	HOT WATER	W/	WITH
HWR	HOT WATER RETURN	W/O	WITHOUT
HWS	HOT WATER SUPPLY	WC	WATER CLOSET
		WCO	WALL CLEANOUT
IM	ICE MACHINE	WH	WATER HEATER
111	TOE TVI COTTINE	WP	WEATHERPROOF
ID	ILINGTION BOY		
JB	JUNCTION BOX	WWB	WALL WASHER BOX
KS	KITCHEN SINK	XFMR	TRANSFORMER
1/1 / 4	KILOVOLT-AMPERES	Ø	PHASE
KVA	KII OMATT		
KVA KW	KILOWATT		

<u>ABBREVIATIONS</u>

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ABBREVIATIONS

PLUMBING LEGEND 5.6K, QUICK RESPONSE, 155°F, 1/2, CHROME, RECESSED PENDANT

o 5.6K, QUICK RESPONSE, 210°F, 1/2, BRASS, UPRIGHT FIRE DEPARTMENT CONNECTION

▼ GAS SHUTOFF VALVE + HOSE BIBB — DOMESTIC COLD WATER PIPING

—— — DOMESTIC HOT WATER PIPING — — — DOMESTIC HOT WATER RETURN PIPING

---- VENT PIPING MECHANICAL LEGEND

> **→** AIRFLOW DAMPER EXHAUST GRILLE

RETURN GRILLE SUPPLY GRILLE THERMOSTAT

ELECTRICAL LEGEND

 Ψ DUPLEX RECEPTACLE, 20 AMP Ψ_{USB} Duplex receptacle with USB connection, 20 AM GFCI DUPLEX RECEPTACLE, 20 AMP QUADRUPLEX RECEPTACLE, 20 AMP

WEATHERPROOF RECEPTACLE, 20 AMP SPECIAL PURPOSE RECEPTACLE SWITCHED DUPLEX RECEPTACLE, 20 AMP

ELECTRICAL PANELBOARD ELECTRICAL DISCONNECT SWITCH ELECTRICAL HOMERUN ELECTRIC UTILITY METER

SPECIAL SYSTEMS LEGEND TELEPHONE DEVICE TELEVISION OUTLET (S) SMOKE DETECTOR DEVICE

<u>LIGHTING LEGEND</u> \$ SINGLE POLE SWITCH, 20 AMP THREE WAY SWITCH, 20 AMP DIMMER SWITCH, 20 AMP FAN SPEED SWITCH AND CONTROL

WALL MOUNTED VANITY LIGHT FIXTURE EXTERIOR WALL SCONCE RECESSED MOUNTED LIGHT FIXTURE • PENDANT MOUNTED LIGHT FIXTURE

SURFACE MOUNTED LIGHT FIXTURES

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HART & COOLEY

GRADE -

NOTE:

SUPPLY

I . ALL DIFFUSER FINISHES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION . P. REFER TO DRAWINGS FOR NOMINAL CFM AND NECK SIZE.

WHITE

14" X 8"

FURNACE SCHEDULE													
TOTAL OUTSIDE ELECTRICAL BASIS OF DESIGN COOLING AIRFLOW ELECTRIC EAT / LAT													
MARK	SERVES	WEIGHT (LBS)	AIRFLOW (CFM)		ESP (IN WG)	HEAT (KW)	TYPE	(°F)	VOLTS / PHASE	MCA / MOCP	MANUFACTURER	MODEL	NOTES
F-I	TOWNHOUSE	100	1000	100	0.7	12	ELECTRIC	63 / 100	230 / 1	55 / 60	EVCON	EB12	١,2

. PROVIDE FILTER RACK, STAND, I" MERV I I FILTERS, ECM MOTOR.

2. PROVIDE HONEYWELL TG PRO SMART THERMOSTAT SINGLE STAGE I HEAT/I COOL MODEL THG2 I OU 200 I. PROGRAM THE THERMOSTAT TO INTERLOCK OPERATIONS WITH THE FURANCE, CONDENSING UNIT AND OUTDOOR AIR DAMPER. FURNACE SUPPLY FAN SHALL OPERATE AT LEAST 50% OF THE TIME IN A GIVEN 4-HOUR SEGMENT WITH THE OUTDOOR AIR DAMPER OPEN. THE FURNACE, CONDENSING UNIT, OUTDOOR AIR DAMPER AND FURNACE SUPPLY FAN SHALL OPERATE TOGETHER ON A CALL FOR HEATING/COOLING FROM THE THERMOSTAT. PROVIDE ALL CIRCUITRY BETWEEN HVAC EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.

AIR COOLED CONDENSING UNIT SCHEDULE - CONCRETE SLAB ELECTRICAL CAPACITY WEIGHT (MBH) SERVES (LBS) MIN SEER | REFRIGERANT | VOLTS / PHASE | MCA / MOCP | MANUFACTURER | 14 R410A 230/1 13.6/20 EVCON RAC14F24B215 140 24 . PROVIDE WITH 24,000 BTU, CASED A-COIL SUITABLE FOR MATCH WITH FURNACE AND CONDENSING UNIT. 2. PROVIDE THERMOSTAT, CONTROL WIRING, REFRIGERANT PIPING, REFRIGERANT AND DISCONNECT. ─ COMPACTED EARTH

EXHAUST FAN SCHEDULE												
	WEIGHT AIRFLOW ELECTRICAL BASIS OF DESIGN											
MARK	SERVES	(LBS)	(CFM)	ESP (IN WG)	FAN WATTS	VOLTS / PHASE	MCA / MOCP	MANUFACTURER	MODEL	NOTES		
EF-I	BATHROOM	10	100	0.1	1.1	120/1	0.4 / 15	BROAN	LP50100DC	1,2		
NOTES:												

BASIS OF DESIGN

NOTES

. CONTROLLED VIA WALL SWITCH. . PROVIDE WITH ROOF CAP, BIRDSCREEN AND BACKDRAFT DAMPER.

SLAB SHALL EXTEND 6" BEYOND UNIT SIZE IN BOTH DIMENSIONS. UNIT SHALL BE CENTERED & LEVELED ON

COMPACTED CRUSHED STONE

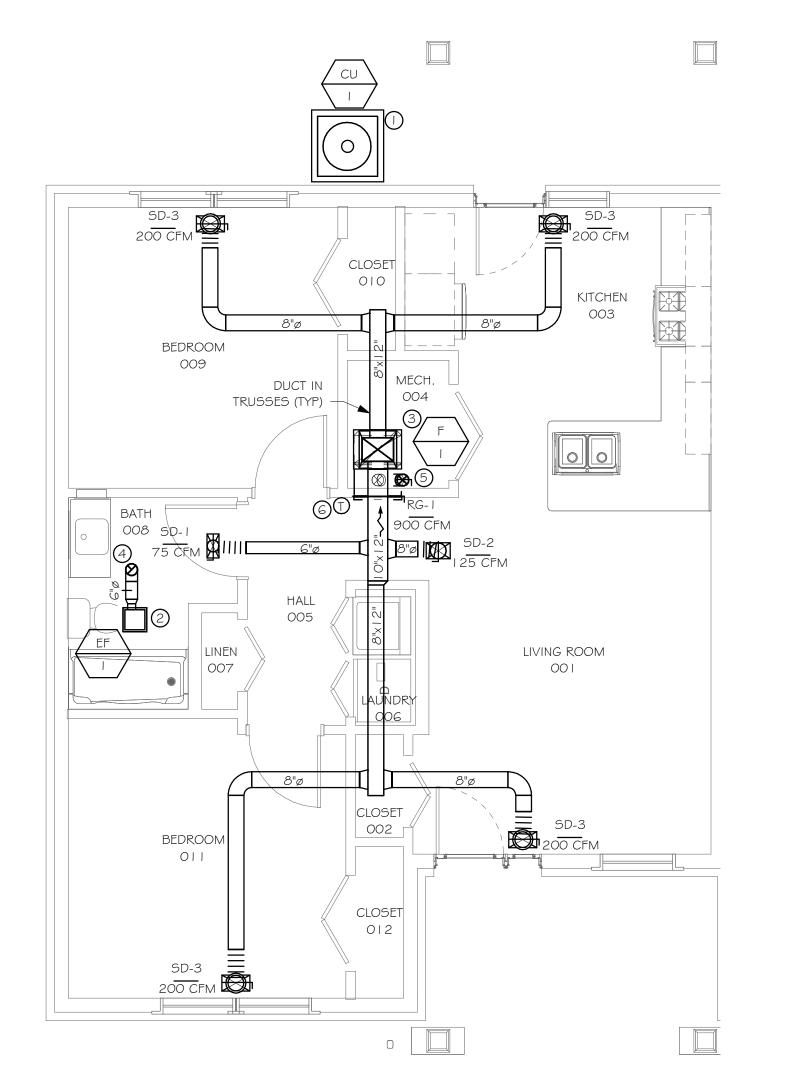
---- VAPOR BARRIER 6"MIL POLY.

6x6 #10 WOVEN

WIRE FABRIC

5D-3 200 CFM KITCHEN STORAGE 006 LIVING BEDROOM

MECHANICAL ONE BEDROOM - MODIFICATION PLAN SCALE: 1/4" = 1'-0"



2 MECHANICAL TWO BEDROOM UNIT - MODIFICATION PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

ALL NOTES ON MEPOO I APPLY TO THIS DRAWING. PROVIDE DUCT INSULATION FOR THE FOLLOWING DUCTWORK WITH THE R-VALUE NOTED: F-I - OUTDOOR, SUPPLY AND RETURN DUCTWORK - R-6

NEW WORK KEYED NOTES:
PROVIDE CONDENSING UNIT PER SCHEDULE. PROVIDE CONCRETE PAD PER DETAIL. PROVIDE REFRIGERANT PIPING PER MANUFACTURER REQUIREMENTS AND CONTROL WIRING TO FURNACE.

2) PROVIDE EXHAUST FAN PER SCHEDULE. INTERLOCK FAN OPERATION WITH LIGHT SWITCH. PROVIDE 4" EXHAUST DUCT THROUGH ROOF WITH ROOF CAP AND SEAL WEATHERTIGHT.

3 PROVIDE FURNACE PER SCHEDULE. PROVIDE FURNACE STAND TO ACCOMMODATE BOTTOM RETURN DUCT AND SEPARATE BUILDING STRUCTURE FROM STAND WITH VIBRATION ISOLATION PADS. PROVIDE DUCT PER PLAN. PROVIDE REFRIGERANT PIPING SIZED PER MANUFACTURER REQUIREMENTS, BETWEEN CONDENSING UNIT AND FURNACE

4 PROVIDE 9" ROUND ROOF VENT, ACTIVE VENTILATION PRODUCTS INC. MODEL # RBV-9-C2-TP OR EQUAL, WITH TAIL PIPE ADAPTER FOR CONNECTION TO EXHAUST DUCT. COORDINATE ROOF VENT COLOR WITH OWNER.

(5) PROVIDE I 2" ROUND ROOF LOUVER AIR INTAKE, ACTIVE VENTILATION PRODUCTS INC. MODEL # PV-12-C4 OR EQUAL, WITH TAIL PIPE ADAPTER FOR CONNECTION TO OUTDOOR AIR DUCT. COORDINATE ROOF INTAKE COLOR WITH OWNER.

(6) PROVIDE THERMOSTAT AND CONTROL WIRING. REFER TO FURNACE SCHEDULE NOTES FOR MORE INFORMATION ON THERMOSTAT.

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M101 Project Number

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SCALE: 1/4" = 1'-0"

GENERAL NOTES:

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ALL NOTES ON MEPOOI APPLY TO THIS DRAWING. PROVIDE DUCT INSULATION FOR THE FOLLOWING DUCTWORK WITH THE R-VALUE NOTED: F-I - OUTDOOR, SUPPLY AND RETURN DUCTWORK - R-6

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6 PROVIDE THERMOSTAT AND CONTROL WIRING. REFER TO FURNACE SCHEDULE NOTES FOR MORE INFORMATION ON THERMOSTAT.

P ODIFICATION

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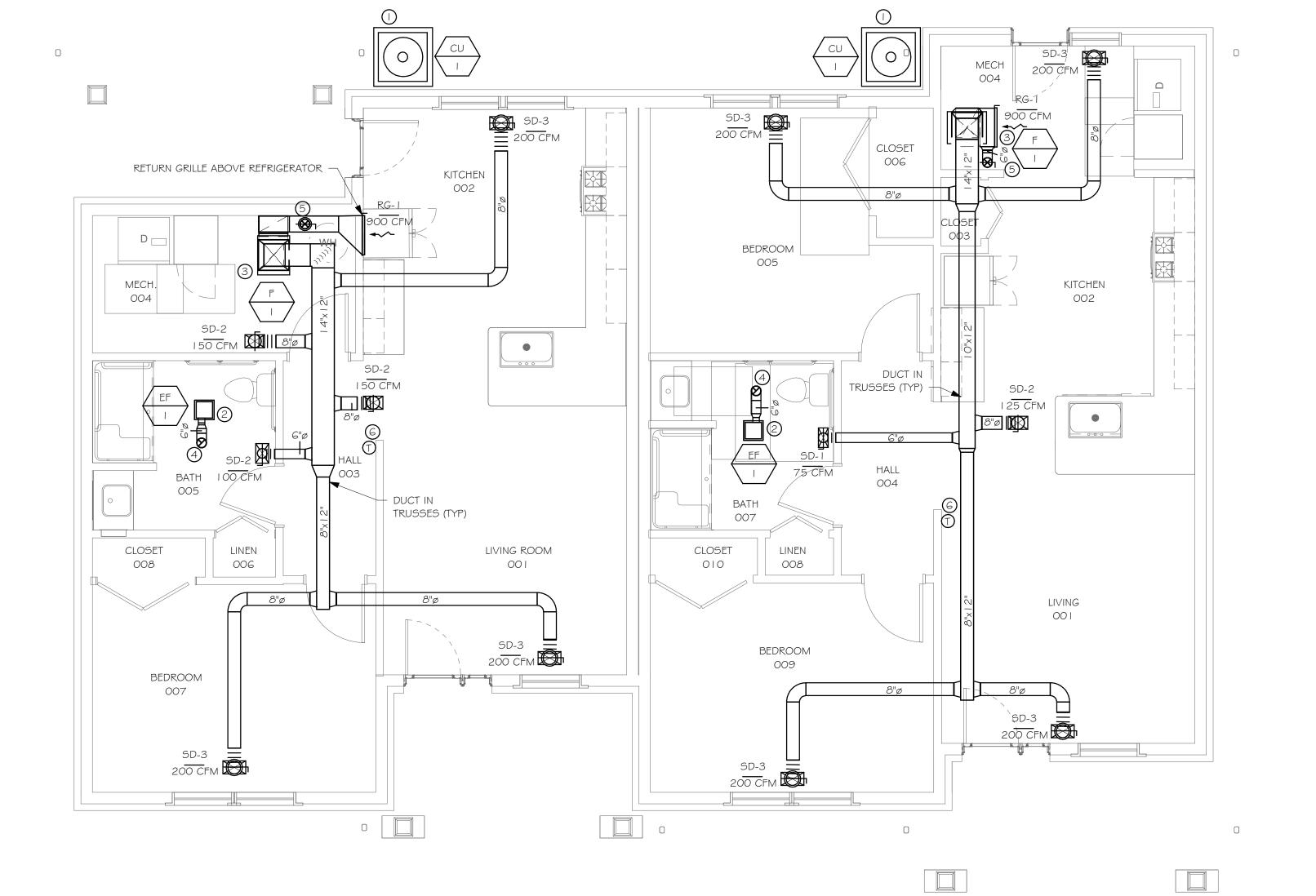
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MECHANICAL UFAS UNIT - MODIFICATION PLAN

SCALE: 1/4" = 1'-0"

PLUMBING ONE BEDROOM UNIT - MODIFICATION PLAN

SCALE: 1/4" = 1'-0"

KS (3)

2 PLUMBING TWO BEDROOM UNIT - MODIFICATION PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

DIAGRAM.

I. ALL NOTES ON MEPOO I APPLY TO THIS DRAWING.

FLASH AND SEAL WEATHERTIGHT.

SCHEDULE AND RISER DIAGRAMS.

PROVIDE BACKFLOW PREVENTER PER PLUMBING FIXTURE

2 PROVIDE WATER HEATER AND FLOOR DRAIN PER PLUMBING

3 PROVIDE KITCHEN SINK PER PLUMBING FIXTURE SCHEDULE.

SCHEDULE. PROVIDE DOMESTIC HOT AND COLD WATER, SANITARY DRAIN AND VENT PIPING AND FITTINGS PER PLUMBING

4 PROVIDE WALL WASHER BOX PER PLUMBING FIXTURE

(5) PROVIDE RESTROOM FIXTURES PER PLUMBING FIXTURE

© PROVIDE ICE MAKER BOX PER PLUMBING FIXTURE SCHEDULE.

PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAM. 7 PROVIDE HOSE BIBB PER PLUMBING FIXTURE SCHEDULE.

PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAM.

PROVIDE DOMESTIC COLD WATER PIPING AND FITTINGS PER

PROVIDE DOMESTIC COLD WATER PIPING AND FITTINGS PER

FIXTURE SCHEDULE AND RISER DIAGRAMS.

SCHEDULE. INSTALL RELOCATED PRESSURE REDUCING VALVE. COORDINATE FINAL LOCATION WITH NEW WATER HEATER.

FIXTURE SCHEDULE. PROVIDE PIPING FITTINGS AND EXPANSION TANK PER WATER HEATER DETAIL AND PLUMBING FIXTURE SCHEDULE. PROVIDE B-VENT FLUE PIPING THROUGH ROOF.

PROVIDE DOMESTIC HOT AND COLD WATER, SANITARY DRAIN AND VENT PIPING AND FITTINGS PER PLUMBING FIXTURE

SCHEDULE. PROVIDE ALL NECESSARY PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS. TYPICAL.

PROVIDE DOMESTIC WATER PIPING BELOW SLAB PER RISER

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SCALE: 1/4" = 1'-0"

GENERAL NOTES: I. ALL NOTES ON MEPOO I APPLY TO THIS DRAWING.

PROVIDE BACKFLOW PREVENTER PER PLUMBING FIXTURE SCHEDULE. INSTALL RELOCATED PRESSURE REDUCING VALVE. COORDINATE FINAL LOCATION WITH NEW WATER HEATER. PROVIDE DOMESTIC WATER PIPING BELOW SLAB PER RISER DIAGRAM.

2 PROVIDE WATER HEATER AND FLOOR DRAIN PER PLUMBING FIXTURE SCHEDULE. PROVIDE PIPING FITTINGS AND EXPANSION TANK PER WATER HEATER DETAIL AND PLUMBING FIXTURE SCHEDULE. PROVIDE B-VENT FLUE PIPING THROUGH ROOF. FLASH AND SEAL WEATHERTIGHT.

3 PROVIDE KITCHEN SINK PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC HOT AND COLD WATER, SANITARY DRAIN AND VENT PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS.

4 PROVIDE WALL WASHER BOX PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC HOT AND COLD WATER, SANITARY DRAIN AND VENT PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS.

(5) PROVIDE RESTROOM FIXTURES PER PLUMBING FIXTURE SCHEDULE. PROVIDE ALL NECESSARY PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS. TYPICAL. © PROVIDE ICE MAKER BOX PER PLUMBING FIXTURE SCHEDULE.

PROVIDE DOMESTIC COLD WATER PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAM. 7 PROVIDE HOSE BIBB PER PLUMBING FIXTURE SCHEDULE.

PROVIDE DOMESTIC COLD WATER PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAM.

SCALE: 1/4" = 1'-0"

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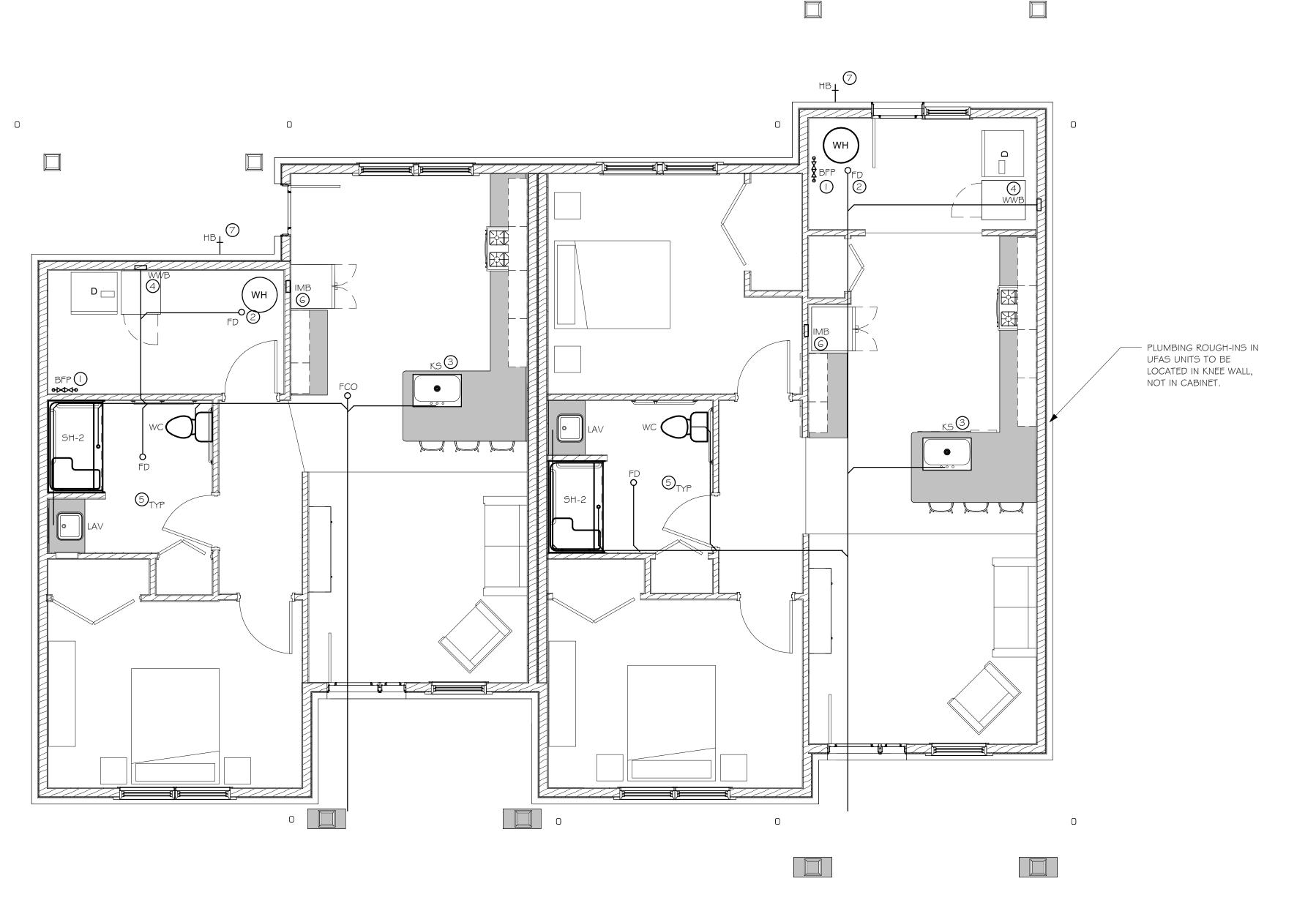
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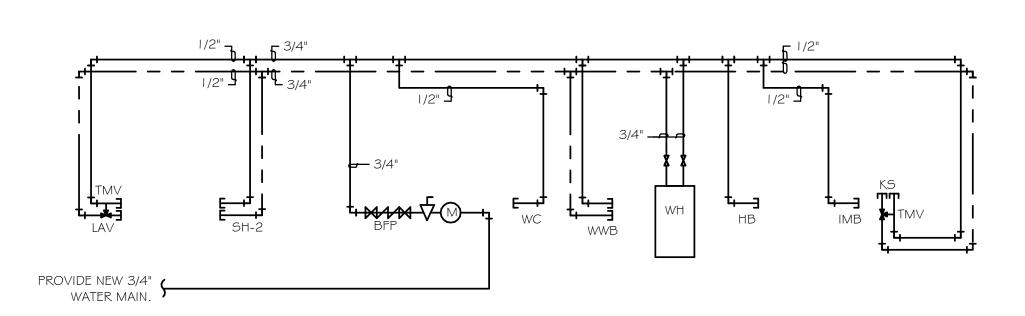
PLUMBING UFAS UNIT - MODIFICATION PLAN
SCALE: 1/4" = 1'-0"

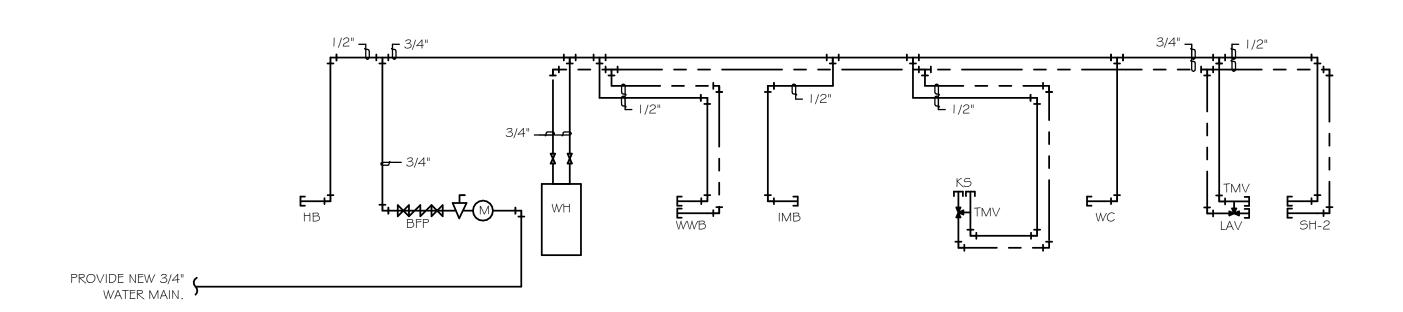
Date 12/13/2024

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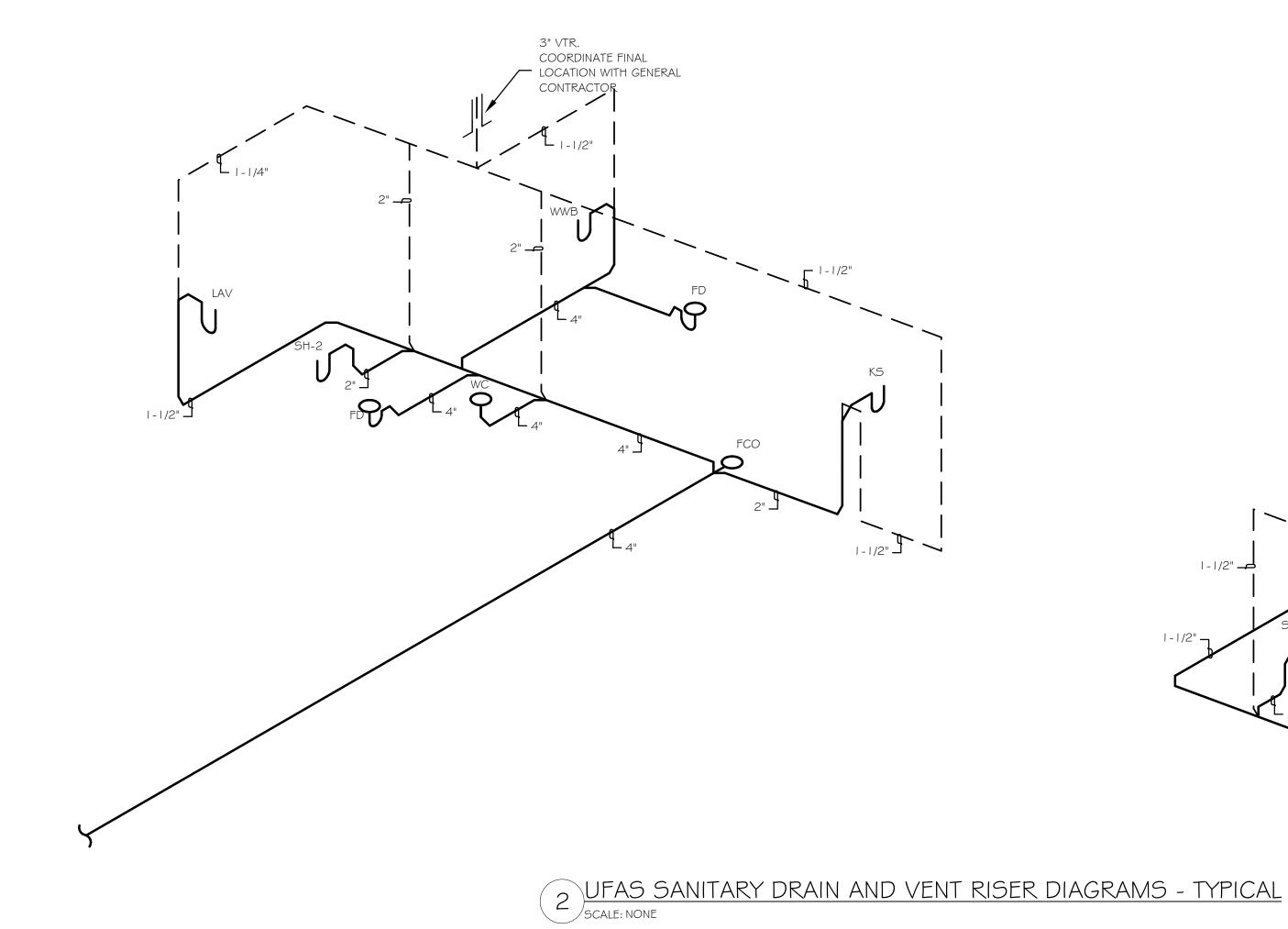
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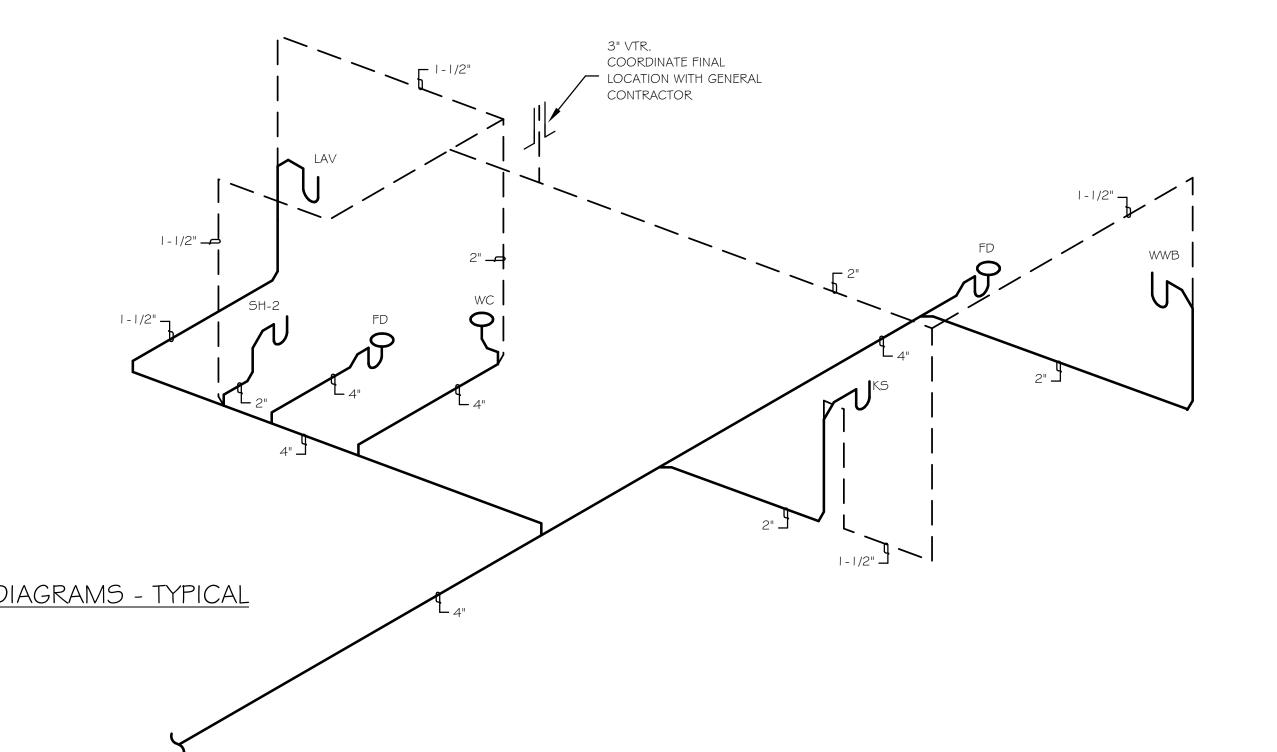
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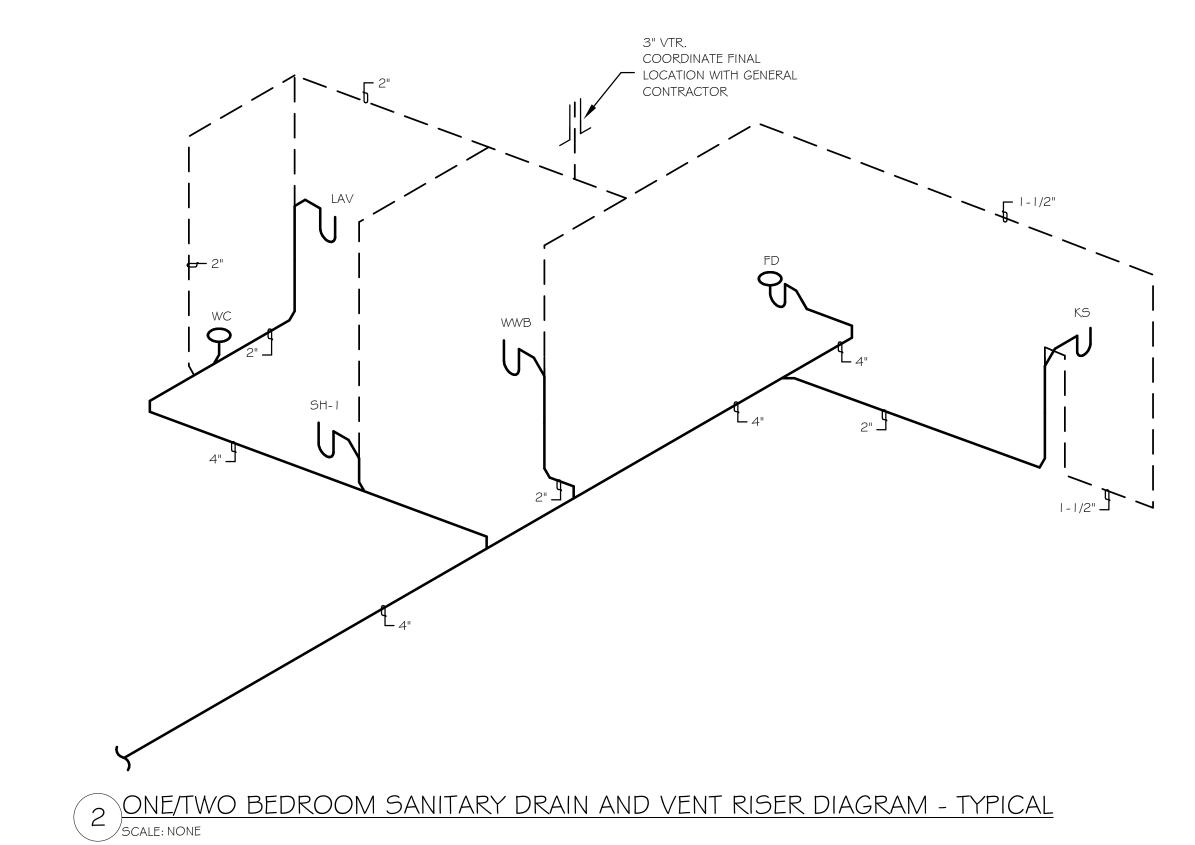


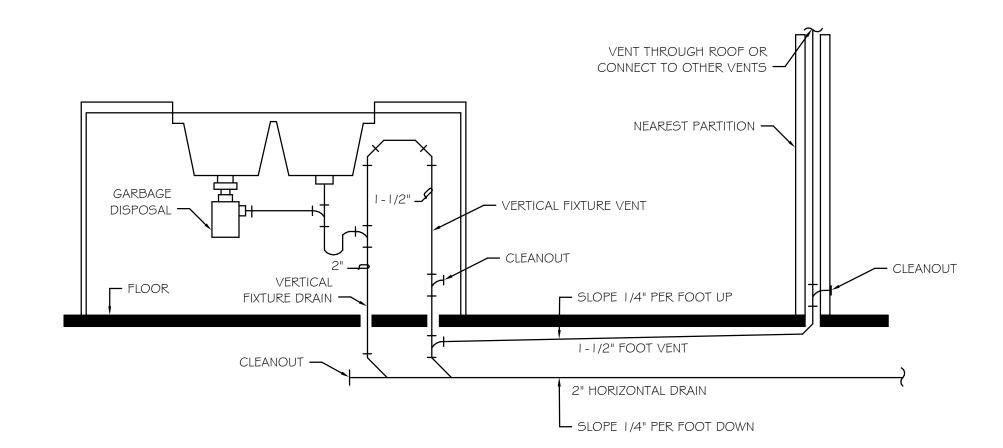
UFAS DOMESTIC WATER RISER DIAGRAMS - TYPICAL SCALE: NONE



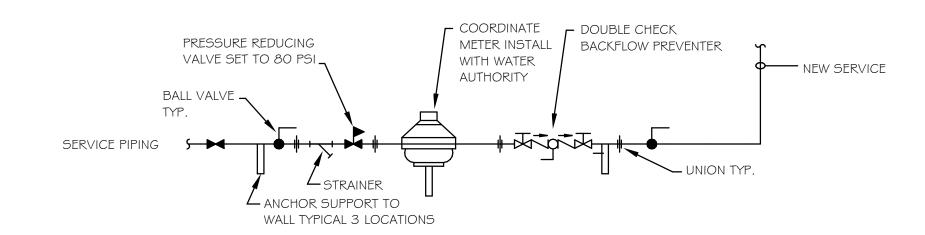


ONE/TWO BEDROOM DOMESTIC WATER RISER DIAGRAM - TYPICAL SCALE: NONE

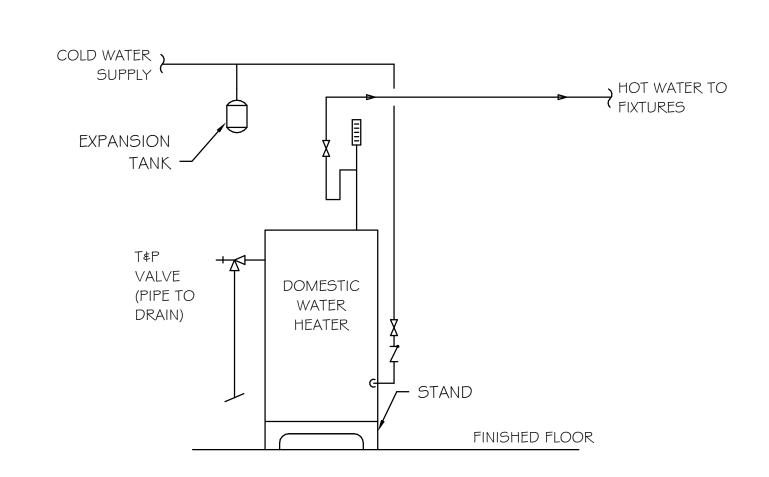




3 KITCHEN ISLAND VENTING DETAIL
SCALE: NONE



4 BACKFLOW PREVENTER DETAIL SCALE: NONE



5 WATER HEATER DETAIL SCALE: NONE

		FI	XTURE UNIT	TS	С	ONNECTI	ON SIZE (IN	.)		
EQUIP			WS	FU						
DESIG	FIXTURE	DFU	COLD	HOT	CW	HW	WASTE	VENT	MANUFACTURER AND MODEL	REMARKS
WC	Water Closet (ADA Compliant)	4	2.2	-	1/2"	-	4"	2"	Kohler Highline K-3658	Vitreous china, floor mounted, two piece, flush tank, I.28 gpf max. Provide with Kohler Cachet K-4636 plastic elongated white seat.
LAV	Lavatory (ADA Compliant)	1	1.5	1.5	1/2"	1/2"	1-1/2"	1-1/4"	Kohler Tahoe 2895-4 Delta 2529LF-HDM	21" Rectangular drop-in sink. Provide Delta 2529LF-HDM chrome plated, centerset faucet with wristblade handles. Provide with TMV.
KS	Kitchen Sink (ADA Compliant)	2	I	I	1/2"	1/2"	2"	1-1/2"	Elkay Lustertone LRAD332265 Delta 175-DST	33" x 22" x 6-1/2" Stainless steel, equal double bowl top mount ADA sink with holes to match faucet. Provide Delta 175-DST Classic Single Handle Kitchen Faucet with sprayer. Provide strainer, p-trap and tailpiece. Provide with TMV.
IMB	Ice Maker Box	-	0.5	-	1/2"	-	-	-	Oatey model 39 40	Provide with quarter turn valve and metal faceplate. Where used for coffee service, install above countertop.
WWB	Wall Washer Box	1	1.5	1.5	1/2"	1/2"	2"	1-1/2"	Oatey 38640	Provide with individual valves and water hammer arrestors.
SH-I	Shower (ADA Compliant)	2	3	3	1/2"	1/2"	2"	1-1/2"	Sterling Medley 72440116 Delta T171T078 Valve \$ Delta 52003-DS Shower Head	Provide Delta TempAssure "T171T078" shower valve and Delta "52003-DS" Shower head. Provide with 5' flexible metal hose, mixing valve and side bar. Coordinate valve, head and piping installation with GC.
SH-2	Shower (ADA Compliant)	2	3	3	1/2"	1/2"	2"	l - I/2"	Comfort Designs XST-SST-6238 Delta T 1 7 1 TO 78 Valve \$ Delta 52003-DS Shower Head	Provide Delta TempAssure "T 7 TO78" shower valve and Delta "52003-DS" Shower head. Provide with 5' flexible metal hose, mixing valve and side bar. Coordinate valve, head and piping installation with GC.
TMV	Thermal Mixing Valve	-	-	-	1/2"	1/2"	-	-	Leonard model 170-LF	Set outlet temperature at 110°F maximum.
WH	Water Heater	-	-	-	3/4"	3/4"	-	-	Bradford White RE350SG	45 Gallon Residential Upright Electric Water Heater. 21 Gallon Recovery @ 90 °F.
ET	Expansion Tank	-	-	-	-	1/2"	-	-	Amtrol ST-5	Bladder-type thermal expansion tank.
BFP	Backflow Preventer	-	-	-	3/4"	-	-	-	Watts LF007	Lead Free Double Check Valve Assembly
НВ	Freeze Proof Hose Bibb	-	0.5	-	1/2"	-	-	-	J.R. Smith 5509QT	Quarter turn freeze proof wall hydrant in stainless enclosure. Label as non-potable and include key.
FD	Floor Drain	-	-	-	-	-	4"	-	J.R. Smith 2005	Adjustable greate floor drain with integral backwater valve. Provide with mechanical seal, similar to Trapguard by ProVent Systems.
FCO	Floor Cleanout	-	-	-	-	-	4"	-	J.R. Smith 4120A	Duco cast Iron floor cleanout with round adjustable scoriated nickel-bronze top. Provide with mechanical seal, similar to Trapguard by ProVent Systems.

. Provide all ancillary components such as wall carriers, mounting hardware, fixture supplies, stops, traps, etc.

2. All equipment shall meet energy star requirements or equivalent. 3. All supplies shall be braided flexible stainless steel.

4. All stops and traps shall be McGuire chrome plated brass.

REVISIONS

DIAGRAMS AND DETAILS RISER SCHEDULE,

FIXTURE

PLUMBING

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12/13/2024

AS SHOWN Sheet Number

P602

ELECTRICAL ONE BEDROOM UNIT - IMPROVEMENT PLAN

SCHEDULES: • | 5A \$ 20A - # | 2AWG WITH # | 2AWG GND IN 3/4" CONDUIT •30A - #10AWG WITH #10AWG GND IN 3/4" CONDUIT •50A - #8AWG WITH #10AWG GND IN 3/4" CONDUIT

EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING OF WALLS, CEILINGS AND FLOORS AS NECESSARY FOR DEMOLITION AND NEW CONSTRUCTION ASSOCIATED WITH THEIR WORK. PROVIDE MATERIALS AND LABOR NECESSARY TO PATCH AFFECTED AREAS TO MATCH EXISTING. PATCHING SHALL BE DONE BY SKILLED CRAFTSMAN IN A MANNER CONSISTENT WITH EXISTING CONDITIONS. COORDINATE FINAL LAYOUT OF ALL FLOORBOXES, ELECTRICAL DEVICES, DATA/COMMUNICATION DEVICES AND FIXTURES WITH OWNER PRIOR TO ROUGH-IN.

SEE PANELBOARD SCHEDULES AND ONE-LINE DIAGRAMS FOR CIRCUIT DESIGNATIONS AND ADDITIONAL INFORMATIONS.

DASHED LINES ON LIGHTING PLAN INDICATE LIGHTING CONTROL BRANCH CIRCUIT ONLY. SEE LIGHTING CONTROL DIAGRAM AND SCHEDULES FOR ADDITIONAL LIGHTING POWER/CONTROL WIRING REQUIRED.

ELECTRICAL BOXES OF ANY SIZE OR TYPE, PENETRATING A FIRE RATED MEMBRANE, SHALL BE UL LISTED TO MAINTAIN MEMBRANE FIRE RATING. OUTLET BOXES SHALL NOT BE INSTALLED BACK-TO-BACK AND MUST BE OFFSET A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES. PUTTY PADS OR BOX INSERTS MAY BE UTILIZED IF ASSEMBLY MAINTAINS UL

GENERAL NOTES:

ALL NOTES ON SHEET MEPOOI APPLY TO THIS DRAWING. PROVIDE THE FOLLOWING CIRCUIT CONDUCTORS BASED ON THE BREAKER RATINGS SHOWN IN THE PANELBOARD

(2) PROVIDE 20A TAMPER PROOF GFCI KITCHEN RECEPTACLES. PROVIDE BRANCH CIRCUITRY FROM PANEL. TYPICAL.

(3) PROVIDE COMBINATION SMOKE/CO DETECTOR SIMILAR TO BRK MODEL SC9 I 20B, CIRCUIT AND BATTERY BACKUP ACCORDING TO SCHEDULE. ALL SMOKE/CO DETECTORS IN EACH UNIT SHALL BE INTERCONNECTED. TYPICAL.

NEW WORK KEYED NOTES:
PROVIDE NEW LIGHT FIXTURES PER SCHEDULE. PROVIDE

NEW SWITCH, SWITCH LEG AND BRANCH CIRCUITRY FROM

PROVIDE NEW PANEL, FEEDERS, GROUNDING CONDUCTORS AND BRANCH CIRCUITS AS SHOWN. SEE PANEL SCHEDULE AND ONE-LINE DIAGRAM FOR MORE INFORMATION. (5) PROVIDE I 20V, 20A TOGGLE DISCONNECT SWITCH,

BRANCH CIRCUITRY FROM PANEL TO FURNACE. SEE PANEL SCHEDULES FOR ADDITIONAL INFORMATION. 6 PROVIDE HEAVY DUTY, CEILING FAN-RATED JUNCTION BOX

FOR LIGHT FIXTURES IN BEDROOMS. TYPICAL. 7) PROVIDE TELEPHONE/DATA/TELEVISION DEVICES AND COAX/CATG HOMERUN TO DEMARCATION LOCATION.

COORDINATE WITH WCHA FOR FINAL LOCATION. TYPICAL. (8) PROVIDE ENCLOSED CIRCUIT BREAKER AND FEEDER ACCORDING TO ONE-LINE DIAGRAM. COORDINATE ELECTRIC METER SOCKET INSTALLATION AND SERVICE CONDUCTOR/CONDUIT REWORK WITH UTILITY COMPANY.

REVISIONS

DIFIC, EDROOI PLANS $\mathbf{\Omega}$ ELECTRICAL

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12/13/2024

AS SHOWN Sheet Number E101

SCALE: 1/4" = 1'-0"

2 ELECTRICAL TWO BEDROOM UNIT - IMPROVEMENT PLAN SCALE: 1/4" = 1'-0"

SCHEDULES: • | 5A \$ 20A - # | 2AWG WITH # | 2AWG GND IN 3/4" CONDUIT •30A - #10AWG WITH #10AWG GND IN 3/4" CONDUIT •80A - #4AWG WITH #8AWG GND IN I-1/4" CONDUIT

COORDINATE FINAL LAYOUT OF ALL FLOORBOXES, ELECTRICAL DEVICES, DATA/COMMUNICATION DEVICES AND FIXTURES WITH OWNER PRIOR TO ROUGH-IN.

SEE PANELBOARD SCHEDULES AND ONE-LINE DIAGRAMS FOR CIRCUIT DESIGNATIONS AND ADDITIONAL INFORMATIONS.

DASHED LINES ON LIGHTING PLAN INDICATE LIGHTING CONTROL BRANCH CIRCUIT ONLY. SEE LIGHTING CONTROL DIAGRAM AND SCHEDULES FOR ADDITIONAL LIGHTING POWER/CONTROL WIRING REQUIRED.

ELECTRICAL BOXES OF ANY SIZE OR TYPE, PENETRATING A FIRE RATED MEMBRANE, SHALL BE UL LISTED TO MAINTAIN MEMBRANE FIRE RATING. OUTLET BOXES SHALL NOT BE INSTALLED BACK-TO-BACK AND MUST BE OFFSET A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES. PUTTY PADS OR BOX INSERTS MAY BE UTILIZED IF ASSEMBLY MAINTAINS UL LISTING.

NEW WORK KEYED NOTES:

PROVIDE INDIVIDUAL 20A SWITCHES AND EXTENSION RINGS TO OPERATE HOOD LIGHT AND FAN SEPARATELY. PROVIDE POWER RECEPTACLE WITHIN CABINET ABOVE HOOD. PROVIDE 20A CIRCUIT FROM PANEL TO RANGE AND HOOD RECEPTACLE. PROVIDE ADDITIONAL BRANCH CIRCUITRY AS NECESSARY TO ACCOMMODATE HOOD AND SWITCH INSTALLATION.

2 PROVIDE NEW LIGHT FIXTURES PER SCHEDULE. PROVIDE NEW SWITCH, SWITCH LEG AND BRANCH CIRCUITRY FROM PANEL. TYPICAL.

3 PROVIDE 20A TAMPER PROOF GFCI KITCHEN RECEPTACLES MOUNTED IN ACCORDANCE WITH UFAS REQUIREMENTS. PROVIDE BRANCH CIRCUITRY FROM PANEL. TYPICAL.

PROVIDE COMBINATION SMOKE/CO DETECTOR SIMILAR TO BRK MODEL SC9 I 20B, CIRCUIT AND BATTERY BACKUP ACCORDING TO SCHEDULE. ALL SMOKE/CO DETECTORS IN EACH UNIT SHALL BE INTERCONNECTED. TYPICAL.

(5) PROVIDE NEW PANEL AND MOUNT PER UFAS GUIDELINES. PROVIDE FEEDERS, GROUNDING CONDUCTORS AND BRANCH CIRCUITS AS SHOWN. SEE PANEL SCHEDULE AND ONE-LINE DIAGRAM FOR MORE INFORMATION.

6 PROVIDE I 20V, 20A TOGGLE DISCONNECT SWITCH, BRANCH CIRCUITRY FROM PANEL TO FURNACE. SEE PANEL SCHEDULES FOR ADDITIONAL INFORMATION.

PROVIDE HEAVY DUTY, CEILING FAN-RATED JUNCTION BOX FOR LIGHT FIXTURES IN BEDROOMS. TYPICAL.

8 PROVIDE TELEPHONE/DATA/TELEVISION DEVICES AND COAX/CATG HOMERUN TO DEMARCATION LOCATION. COORDINATE WITH WCHA FOR FINAL LOCATION. TYPICAL.

9 PROVIDE ENCLOSED CIRCUIT BREAKER AND FEEDER ACCORDING TO ONE-LINE DIAGRAM. COORDINATE ELECTRIC METER SOCKET INSTALLATION AND SERVICE CONDUCTOR/CONDUIT REWORK WITH UTILITY COMPANY.

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> ELECTRICAL UFAS FIRST FLOOR PLAN - NEW WORK SCALE: 1/4" = 1'-0"

> > SCALE: 1/4" = 1'-0"

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AS SHOWN

Sheet Number E102

PANEL SECTION PANEL VOLTAGE (VOLTS) N/A KITCHEN PANEL LOCATION PANEL BUS RATING (AMPS) 200 PANEL MOUNTING Flush FAULT CURRENT RATING (AIC) 10,000 MAIN CIRCUIT BREAKER (AMPS) 200

PANEL NOTES: *PROVIDE COMBINATION GFCI/AFCI CIRCUIT BREAKER

CKT	CIRCUIT DESIGNATION	LOAD TYPE	CB RATING	CB POLES	Α	В	А	В	CB POLES	CB RATING	LOAD TYPE	CIRCUIT DESIGNATION	CKT
I	SMALL APPLIANCE CKT I	Rесер	20 A	1	540 VA		540 VA		1	20 A	Rесер	SMALL APPLIANCE CKT 2	2
3	LAUNDRY CKT	Rесер	20 A	1		800 VA		180 VA		20 A	Rесер	BATHROOM CKT	4
5	EXTERIOR RECEPTACLES	Rесер	20 A	1	360 VA		900 VA		1	20 A	Rесер	BEDROOM RECEPTACLES	6
7	BEDROOM RECEPTACLES	Rесер	20 A	1		900 VA		600 VA		20 A	Rесер	REFRIGERATOR	8
9	LIVING ROOM RECEPTACLES	Rесер	20 A	1	720 VA		360 VA		1	20 A	Rесер	LIVING ROOM / HALLWAY RECEPTACLES	10
1.1	DRYER	Rесер	30 A	2		2500 VA		200 VA		20 A		FIRE ALARM	12
13					2500 VA		419 VA		1	20 A	Lighting	LIGHTING	14
15	WATER HEATER	Power	30 A	2		2250 VA		1632 VA	2	20 A	HVAC	CONDENSING UNIT	16
17					2250 VA		1632 VA						18
19	FURNACE CKT I	Power	30 A	2		2400 VA		5280 VA	2	60 A	Power	FURNACE CKT 2	20
21					2400 VA		5280 VA						22
23	GAS RANGE	Rесер	20 A			180 VA		2724 VA	2	20 A	HVAC	HVAC	24
25							2724 VA						26
27													28
29	_												30

LOAD CLASSIFICATION	CONNECTED LOAD	LOAD DEMAND FACTOR	CALCULATED LOAD
LIGHTING	419 VA	100.00%	419 VA
RECEPTACLE	11080 VA	95.13%	10540 VA
MOTOR	5448 VA	100.00%	5448 VA
HVAC	3264 VA	100.00%	3264 VA

- 200A METER SOCKETS

200A MCB

PANEL

200A

MCB

4 ELECTRICAL ONE-LINE DIAGRAM - 2 UNITS

973 I VA

	320
TOTAL ESTIMATED DEMA	AND 397

FEEDER SCHEDULE						
FEEDER DESIGNATION	CONDUCTOR	CONDUCTOR SIZES			CONDUIT	CONDUIT
	SETS	PHASE	NEUTRAL	GROUND	SETS	SIZE
20NG	1	#12	#12	#12	1	3/4"
30NG	1	#10	#10	#10	1	3/4"
40NG	1	#8	#8	#10	1	3/4"
50NG	1	#8	#8	#10	1	3/4"
60NG	1	#6	#6	#10	1	1"
200NG	1	3/0	3/0	#6	1	2"
200NS	1	3/0	3/0	#4	1	2"
300NS	1	350	350	1/0	1	3"
400NS	1	500	500	1/0	1	4"
500NS	2	4/0	4/0	#2	1	2-1/2"

NOTES: 1. REFER TO SHEET MEP001 FOR CONDUIT TYPES. 2. FEEDERS MAY HAVE BEEN UPSIZED TO ACCOUNT FOR VOLTAGE DROP. 3. ALL CONDUCTORS SHALL BE COPPER.

CIRCUIT UNLESS SPECIFICALLY CHANGED.

GROUND

200NS SERVICE

CONDUIT —

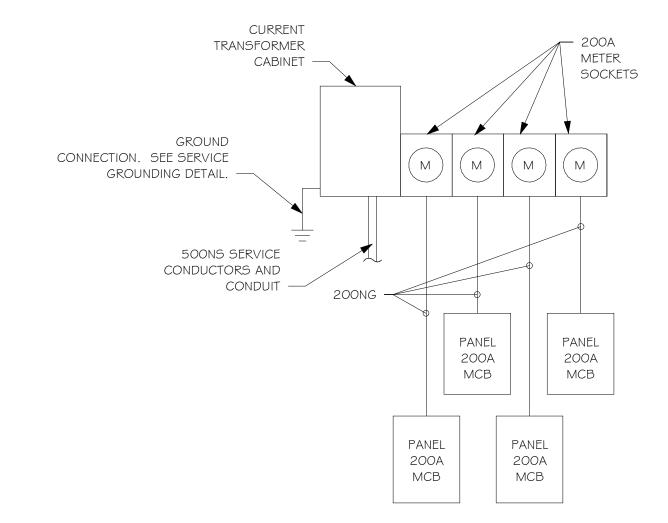
200NG —

CONDUCTORS AND

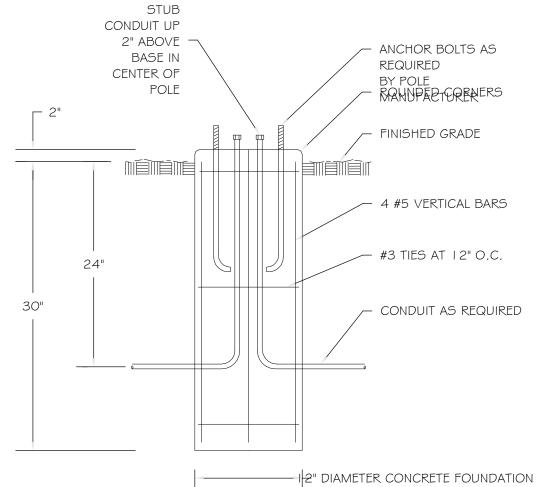
CONNECTION. SEE SERVICE

GROUNDING DETAIL.

4. CONDUCTORS FOR MULTIPLE CIRCUITS MAY BE GROUPED AS PERMITTED BY THE NEC. INCREASE CONDUCTOR AND CONDUIT SIZES ACCORDINGLY. 5. ALL 20A CIRCUITS SHALL USE FEEDER 20NG UNLESS NOTED OTHERWISE. 6. ALL 30A CIRCUITS SHALL USE FEEDER 30NG UNLESS NOTED OTHERWISE. 7. FEEDER SIZES SHALL BE CONTINUED AS IDENTIFIED THROUGHOUT









GENERAL NOTES:

I. ALL NOTES ON MEPOO I APPLY TO THIS DRAWING.

LIGHT FIXTURE SCHEDULE									
DESIGNATION	MANUFACTURER	DESCRIPTION	MOUNTING	LAMPS	LUMENS	WARMTH	CRI	MODEL	WATTS
А	TERON LIGHTING	SURFACE MOUNT FIXTURE	CEILING	LED	4100	3500K	80	DP48-L41.2-ZE1200-120-277V-LT-BN-35K	41 W
В	LITHONIA LIGHTING	STRIPLIGHT	CEILING	LED	2500	4000K	80	MNSL-L46- I LL-MVOLT-40K-80CRI-M6	20 W
С	LITHONIA LIGHTING	LED 24" VANITY FIXTURE	WALL - 7'-0" AFF	LED	1304	3500K	90	FMVCSLS-24IN-MVOLT-30K35K40K-90CRI	18 W
D	LITHONIA LIGHTING	MINI-PENDANT LED	PENDANT - 7'-0" AFF	LED	700	3500K	80	I I 990-GW	13 W
E	LITHONIA LIGHTING	6" CAN FIXTURE	CEILING	LED	1500	3500K	80	LDNG-35/15-LOG-AR-MVOLT	18 W
F	CRAFTMADE	CEILING FAN LIGHT FIXTURE	CEILING	LED	600	3500K	80	AT52 WITH BLADES AND BOWL LIGHT KIT ELK I WW	9 W
G	MAXIM LIGHTING	EXTERIOR WALL MOUNT FIXTURE	WALL - 7'-6" AFG	LED	900	3000K	90	56024FTBK	9 W
Н	TERON LIGHTING	LED FLUSH MOUNT	CEILING	LED	1860	3500K	80	NEC 4-L20.5-ZEG40- 20V-BN-35K-BB	24 W

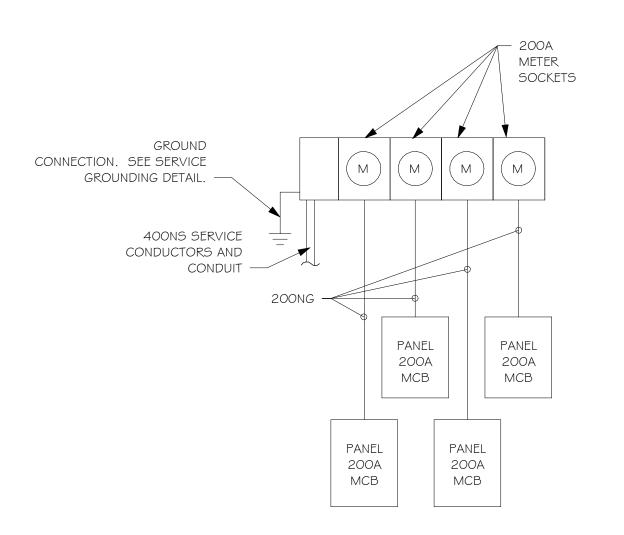
LIGHT FIXTURE SCHEDULE NOTES:

. ARCHITECT TO SELECT ALL DIFFUSERS, TRIM, FINISHES, ETC DURING SUBMITTAL REVIEW FROM ALL AVAILABLE OPTIONS.

MOUNT FIXTURES AS SHOWN ON DRAWING.

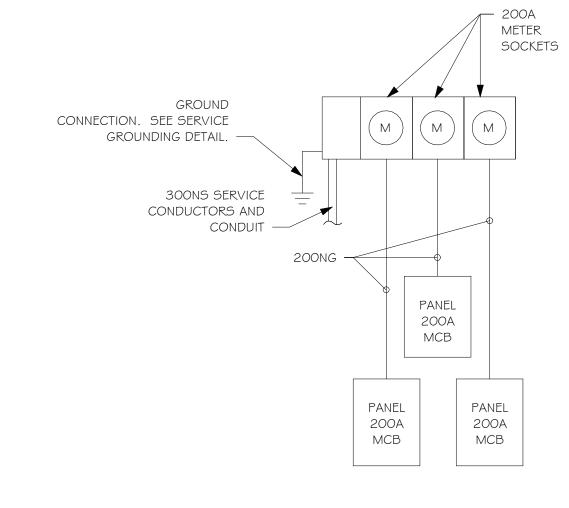
. PROVIDE POWER SUPPLIES, CONNECTORS AND NECESSARY MOUNTING ACCESSORIES FOR FIXTURES. 4. COORDINATE DIMMER SWITCHES WHERE APPLICABLE WITH SPECIFIC FIXTURE TYPES (LED/FLUORESCENT).

WHERE INDICATED, PROVIDE EMERGENCY UNIT WITH SINGLE LED WEATHERPROOF HEAD TYPE ELA-QWP-L0304 OR APPROVED EQUAL.

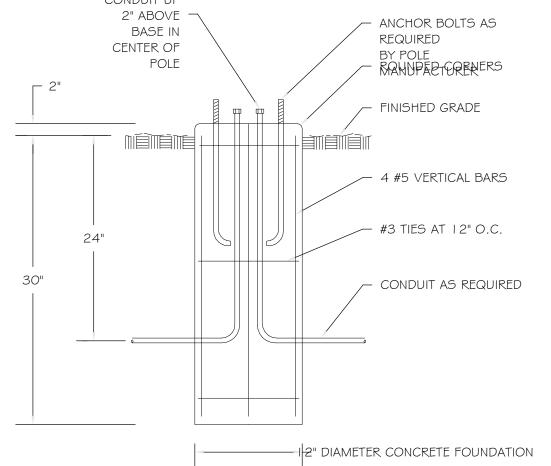




SCALE: NONE

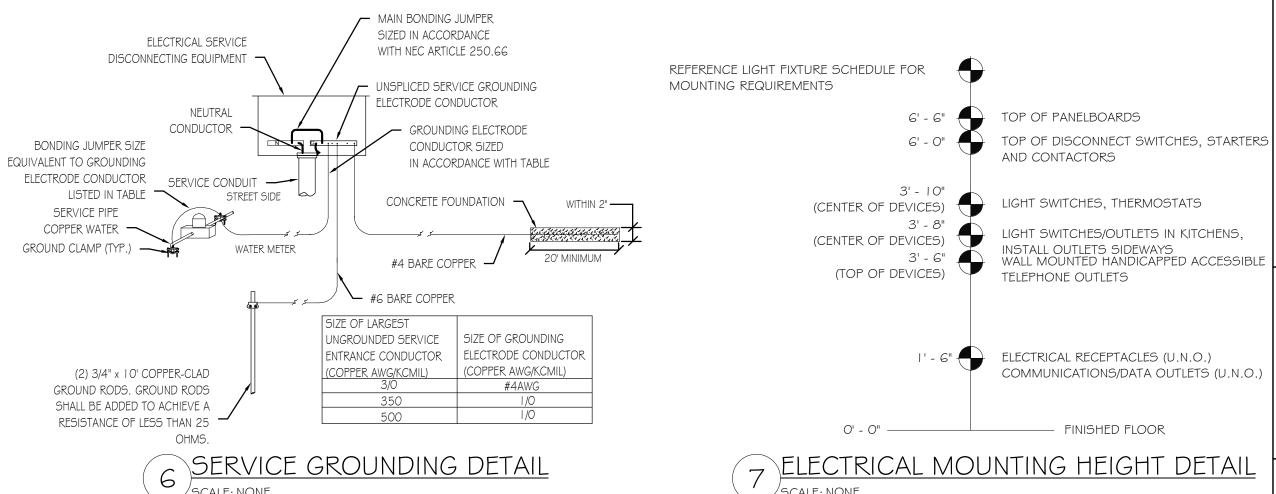






NOTE: ALL CONCRETE WORK SHALL CONFORM TO DIVISION 3 OF SPECIFICATIONS AND SHALL BE 3000 PSI MIN. COMPRESSIVE STRENGTH AT 28 DAYS





7 ELECTRICAL MOUNTING HEIGHT DETAIL Date / SCALE: NONE

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REVISIONS

DET,

DIAGRAM

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ELECTR

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12/13/2024

AS SHOWN Sheet Number E601

Project Number

2569.011.001