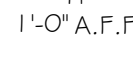





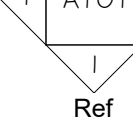

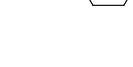



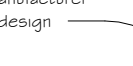


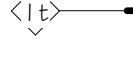




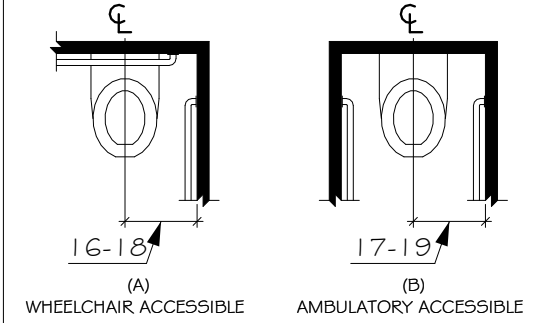
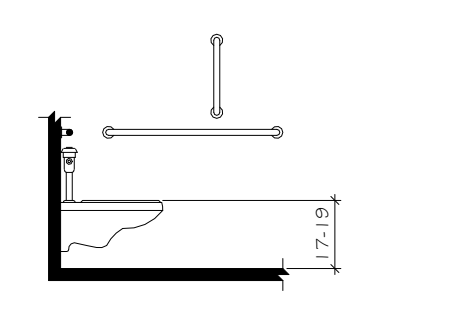
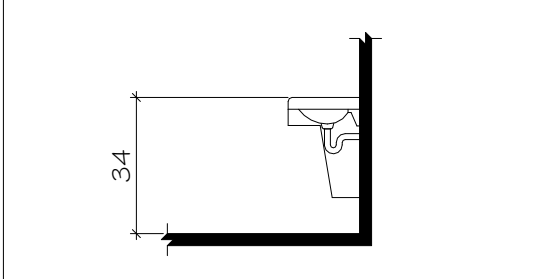
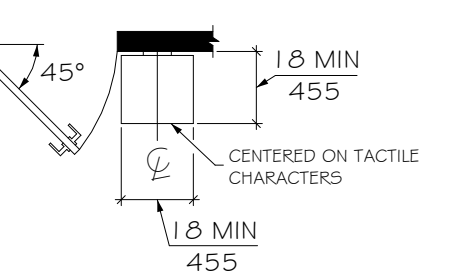
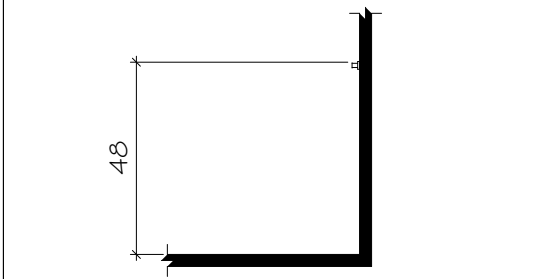
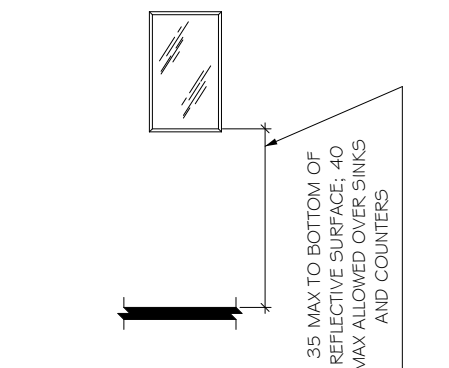
WESTMORELAND NON-PROFIT HOUSING CORPORATION

	percent	F.E.	fire extinguisher	FLBG.	plumbing
C.B.	angle	F.E.C.	fire extinguisher cabinet	FLWD.	plywood
C.	air conditioning	F.F.	fire-resistant	FLN.	panel
A.C.		FDN.	foundation	FLNG.	panelling
A.C.I.	American Concrete Institute	FIN.	finish (finished)	FLC.	panelled
A.C.T.I.	acoustical ceiling tile	FRKT.	fracture	FORC.	perforation
A.F.F.	above finished floor	FL.	floor	FORC. ENAM.	porcelain enamel
A.P.	access panel	FT.	feet		
A.V.	audiovisual	G.T.G.	gloving	FRETAB.	prefabricated
A.C.F.N.	acrylic-finish	G.C.	General Contractor	PSF	pounds per square foot
ACOUS.	acoustic	FTG.	fastening	PSI	pounds per square inch
ADJ.	adjustable	GA.	gauge		
ALT.	alternate	GTG.	gutter	PTD.	parted
ALUM.	aluminum	GAUV.	gypsum alloy	PVC	polyvinyl chloride
AMT.	amount	GL.	glass or glazing	PVMT.	pavement
ANOD.	anodized	GL-BLK.	glass block	QT.	quarry tile
ANSI	American National Standards Institute	GR.	grade	QTY.	quantity
APPROX.	approximately	GRD.	ground		
ARCH.	architectural	GRDM.	groomnet	R.	radius (star)
ASHRAE	American Society of Heating, Refrigeration & Air-Conditioning Engineers	GYNB	gypsum wall board	R.A.	return air
		GYP.	gypsum	R.C.	Roofing Contractor
ASME	American Society of Mechanical Engineers	H.B.	hose bibb	R.O.	rough opening
ASPH.	asphalt	H.C.	Heating Contractor	R.W.C.	rain water conductor
ASTM	American Society of Testing Materials	H.M.	hard metal	RAD.	radius
B.M.	benchmark	HCP.	handicap (ped)	RB	rubber base
B.T.U.	British Thermal Unit	HD.	head	RD	roof drain
B.U.	built-up	HDBD.	hardboard	RECP.	reciprocate
B.U.R.	built-up roofing	HDWD.	hardwood	REF.	refrigerator
BY	bottom/bottom of	HDWE.	hardware	RD.	roof drain
CD	condensation	HDRZ.	horizontal	REOD.	receptacle
BIT	bituminous	HVAC.	heating, ventilating, air conditioning	REIN.	reinforcing
BLDG.	building	LD.	inside diameter	REV.	reverse, reversed
BLK.	block	ILLUM.	illumination	RM.	room
BLKG.	blotting	INT.	International Building Code	RUB.	rubber
BLKHD.	blockhead	INM.	inches	S.	south
BM.	beam	INCL.	inclined, including	S.A.	supply air
BOCA	Building Officials Conference of America	INS.	insulated, insulating	S.D.	storm drain
BOTT.	bottom/bottom of	INT.	interior	S.I.	square inch
BKG.	beaming	INV.	invert	S.P.R.	single-ply roofing
BR.	brick	J.B.	junction box	S-Y.	sanitary
BRZ.	bronze	JST.	joint	SCH.	schedule
BSMT.	basement	JT.	joint	SCHD.	schedule
C.	channel	K. (K/P)	kilowatt	SECT.	section
C.B.	catch basin	K.E.C.	Kidney Equipment Contractor	SH.	sheet
C.I.	cast-iron	K.	kilowatt-ampere	SHWR.	shower
C.I.P.	cold iron isolation joint	KW.	kilowatt	SHM.	similar
C.I.J.	control joint	L.F.	Long Equipment Contractor	SPEC.	specification
C.J.	clay pavers	LLH.	long leg horizontal	SPLK.	sprinkler
C.R.	classroom	L.LV.	long leg vertical	SQ.	square
C.T.	ceramic tile	L.P.	low point	ST.STL.	stainless steel
CAB.	cabinet	STD.	standard	STD.	standard
CAFE.	cafeteria	LAT.	lateral	STL.	steel
CEM.	cement	LT.	light	STRUC.	structural
CEM.	ceramic	LTG.	lightweight structural	STRUCT. FNG.	structural framing
CHLBKD.	chulkboard	LTWT. CONC.	lightweight concrete	SURF. MTD.	surface mounted
CL.	centerline	LVL.	lumber	SUSP.	suspended
CLG.	ceiling	LVR.	lower	T.	trade
CLG. HT.	ceiling height	LWR.	lower	T.C.	terra cotta
CONC.	concrete	M.H.	manhole	T.Z.	terrazzo
CONF.	conference	M.C.D.	manicure opening	TI.	top of
CONST.	construction	M.R.	moisture resistant	TIC	top of curb
CONT.	continuous	MAGT.	machine	TB.	tackboard
CONTR.	contractor	MAB.	machine	TEL.	telephone
CTR.	center	MATL.	material	TEMP.	temperatures (or temporary)
CU. FT.	cubic foot	MAX.	maximum	THRU.	through
CU. YD.	cubic yard	MECH.	mechanical	THRD.	threshold
D.F.	drinking fountain	MED.	medical	TY.	typical
DES. ()	design	MFR.	manufacturer	U.C.	under-cut
DIA. ()	diameter	MN.	man	U.H.	unit heater
DIAG.	diagonal	MND.	mechanical	U.N.Q.	unless noted otherwise
DM.	diameter	MLDG.	molding	US.	underside of
DM. PARTN.	dismountable partition	MULD.	moulded	UNDERS.	underside of
DMSG. PARTN.	dismounting partition	UNT.	united	UNDERS.	underside of
DNL.	door	N.	north	UNPR.	unprimed
D9.	downspout	N.I.C.	not in contract	UPR.	upper
DTL.	detail	N.T.S.	not to scale	V.A.V.	variable air volume
DWG.	drawing	N.F.P.	National Fire Protection Association	V.B.	valve box
E.	east	NFA	number	V.C.T.	vinyl composition tile
E.C.	Electrical Contractor	NOM.	nominal	VAC.	vacuum
E.W.	each way	NRC.	noise reduction coefficient	VARN.	varnish
E.W.C.	electric water cooler	O.C.	on center	VENT.	ventilation or ventilator
EA.	each	O.D.	outside diameter	VERT.	vertical
ED.	education	O.P.	outside opening	VIT.	vitreous
EL.	elevation	OPD.	outside diameter	VOL.	volume
ELC.	electrical	OPN.	opening	VVC.	very well covering
ELEV.	elevation	OPP.	opposite	W.	west
ELEV.	elevator	ORNT.	ornamental	W.C.	water closet
EMER.	emergency	OSHA	Occupational Safety and Health Administration	W.F.T.	waterproof floor topping
DNCL.	enclosure			W.G.L.	wire glass
DNGR.	engineer			W.H.	water heater
EQ.	equal	P.A.	plastic address	W.I.	wireless iron
EQUIP.	equipment	P.C.	Plumbing Contractor	W.M.P.	wire mesh partition
DTH.	enhals	P.L.	property line	WI	with
EXT. EX.	exterior	PARTN.	partition	W/O	without
EXP.	exposed	PC.	piece	WO.	wood
EXP.IT.EXT.IT.	expansion joint	PCST.	precast	W/O.	window
EXT.	exterior	PERF.	perforated	WPRF.	waterproof
F.D.	fire door	PL.	plaster	WT.	weight
F.D.V.	fire department valve			°	degree

	CEILING TAG w/ HEIGHT
	BUILDING ELEVATION
	COLUMN LINE
	INTERIOR ELEVATION
	NUMBERED KEY NOTE (sheet specific)
	BUILDING SECTION
	MANUFACTURED PLASTIC LAMINATE CASEWORK TAG
	WALL TYPE
	DOOR TAG
	LEVEL or PLAN VIEW
	ROOM TAG
	WALL SECTION
	SPOT ELEVATION
	STOREFRONT ELEVATION TAG
	FIRE EXTINGUISHER
	DEMOUNTABLE PARTITION ELEVATION
	CONTROL JOINT
	COLUMN ISOLATION JOINT

Dwg. Revisions:	
Revision Number	Revision Date
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<div style="display: flex; justify-content: space-between;"><div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; font-size: 1.2em;">CANZIAN/JOHNSTON & ASSOCIATES, LLC.</div><div style="text-align: center;"><div style="font-family: sans-serif; font-weight: bold; letter-spacing: -1px;">CANZIAN / JOHNSTON & ASSOCIATES, LLC SUI MARIETTA NEWSPRING HENNINGSON 1508 • www.Canzian.com • P: 724.329.0251 fax: 724.329.4992 PRINCIPALS: Antoni M. Canzian, R.A. Dan Masiek, R.A., Heather Workeser</div></div></div>	
	
<div style="display: inline-block; width: 45%;">CHURCH VIEW COMMONS</div> <div style="display: inline-block; width: 45%;">MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA</div>	
WESTMORELAND NON-PROFIT HOUSING CORPORATION	
COVER SHEET	
Scale:	As indicated
Date:	11/23/2021
Drawn By:	L.MEYER
Checked By:	Checker
Project No.:	2141
File No.:	
<div>Drawing No. CS100</div>	

ACCESSIBILITY REQUIREMENTS
AND MOUNTING HEIGHTS

<p>Water Closet type shall be verified with plumbing fixture schedule. Controls for flush valves shall be mounted on the wide (open) side of the water closet no more than 44 inches above finished floor.</p>  <p>(A) WHEELCHAIR ACCESSIBLE WATER CLOSETS (B) AMBULATORY ACCESSIBLE WATER CLOSETS</p>	<p>Water Closet type shall be verified with plumbing fixture schedule. Controls for flush valves shall be mounted on the wide (open) side of the water closet no more than 44 inches above finished floor.</p> 
<p>WATER CLOSET BY PC - LOCATION</p>	<p>WATER CLOSET BY PC - HEIGHT</p>
<p>Faucet shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5.0 pounds maximum. Water supply and drain pipes under lavatories and sinks shall be insulated. There shall be no sharp or abrasive surfaces under lavatories and sinks. Toe and knee clearances shall be provided.</p> 	
<p>LAVATORIES AND SINKS BY PC - HEIGHT</p>	<p>SIGNAGE BY GC (UNO) LOCATION OF TACTILE SIGNS AT DOORS</p>
<p>COAT HOOKS SHALL BE PROVIDED AT EACH SINGLE OCCUPANT TOILET ROOM DOOR, AT EACH TOILET PARTITION DOOR, AND AS INDICATED ELSEWHERE</p> 	
<p>ROBE AND COAT HOOKS BY GC</p>	<p>MIRRORS BY GC</p>

GENERAL NOTES:

- A. ALL CONSTRUCTION WORK SHALL CONFORM WITH THE APPLICABLE CODES AND ORDINANCES OF THE AUTHORITY(IES) HAVING JURISDICTION. THE CONTRACTOR(S) SHALL POST NOTICES AND COMPLY WITH THE GOVERNING LAWS OF THE JURISDICTION. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AS REQUIRED BY ALL APPLICABLE CODES AND AUTHORITIES, HAVING JURISDICTION.
- B. THE WORK SHALL BE PROPERLY SUPERVISED BY THE CONTRACTORS JOB SITE SUPERINTENDENT. SUFFICIENT PERSONNEL SHALL BE EMPLOYED TO COMPLETE THE WORK WITHIN THE CONTRACT TIME. PERSONNEL SHALL BE SKILLED IN THE TASK(S) ASSIGNED.
- C. THE CONTRACTOR(S) SHALL AT ALL TIMES MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD THE PUBLIC AND ALL PERSONS ENGAGED IN THE PERFORMANCE OF WORK. CONTRACTORS SHALL TAKE PRECAUTIONARY MEASURES TO ENSURE THE SAFETY OF THE PUBLIC ON AND SURROUNDING THE SITE DURING ALL CONSTRUCTION ACTIVITIES.
- D. THE CONTRACTOR(S) SHALL VISIT THE SITE(S) TO PERSONALLY ASCERTAIN THE NATURE OF THE WORK INVOLVED AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE(S) PRIOR TO THE SUBMISSION OF A BID. THE CONTRACTOR(S) IS/ARE RESPONSIBLE FOR BECOMING FAMILIAR WITH THE EXISTING CONDITIONS. ALL DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE SUBMISSION OF A BID.
- E. THE CONTRACTOR(S) SHALL VERIFY ALL LINES, LEVELS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT BEFORE STARTING WORK. RE-CHECK DIMENSIONS PRIOR TO ORDERING MANUFACTURED AND FABRICATED ITEMS. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY CONTRACTOR ON THE SITE; CONTRACTOR(S) IS(ARE) RESPONSIBLE FOR PROPER FIT OF ALL WORK. THE DRAWINGS ARE DIAGRAMMATIC; CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AT THE SITE PRIOR TO ANY INSTALLATION.
- F. PROTECT ALL UTILITY LINES DURING CONSTRUCTION, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT. CONTRACTOR(S) SHALL VERIFY THE LOCATION(S) AND, WHERE NECESSARY, THE DEPTH OR HEIGHT OF ALL UTILITIES, REGARDLESS OF OWNERSHIP OF UTILITIES, PUBLIC OR PRIVATE, PRIOR TO CONSTRUCTION. CONTRACTOR(S) SHALL ANTICIPATE ALL WORK REQUIRED AND INCLUDE THESE ITEMS AS PART OF THEIR BASE BID. CONTRACTOR(S) SHALL TAKE ALL NECESSARY PRECAUTIONS AND SAFETY MEASURES IN AND AROUND EXISTING UTILITIES, INCLUDING LOCATING THE EXISTING UTILITIES, BURIED AND ABOVE GROUND, IN AND AROUND ALL NEW CONSTRUCTION; SUPPORT ANY EXPOSED UTILITIES FOUND OR UNCOVERED DURING THE COURSE OF CONSTRUCTION; IN THE EVENT UTILITIES ARE DAMAGED DURING CONSTRUCTION, THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE SHALL REPAIR ANY AND ALL DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING UTILITIES IN A MANNER CONSISTENT WITH ALL PERTINENT FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC., INCLUDING ALL UTILITY REGULATIONS GOVERNING THE DAMAGED UTILITY(SERVICE); ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- G. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE INFORMATION FOUND WITHIN ALL CONTRACT DOCUMENTS, IN SO FAR AS SUCH INFORMATION PERTAINS TO THE CONTRACTOR, INCLUDING BUT NOT LIMITED TO ALL DRAWINGS, DRAWING SHEETS, SPECIFICATIONS, ETC.; WHERE ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL, ETC., DRAWINGS INDICATE WORK TO BE COMPLETED, WHETHER PROVIDED, FURNISHED OR INSTALLED, BY A CONTRACTOR, THE PRESCRIBED CONTRACTOR SHALL BE RESPONSIBLE FOR THAT WORK; RESPONSIBILITY SHALL EXTEND TO APPLICABLE GENERAL NOTES, SPECIFIC NOTATIONS, SCHEDULES, ETC.
- H. ALL AREAS DISTURBED DUE TO CONTRACTOR ACTIVITIES DURING CONSTRUCTION, SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION/APPEARANCE.
- I. THE CONTRACTOR SHALL NOT BLOCK OR DELAY ANY PUBLIC ROAD OR ACCESS DRIVE TO THE SITE AND SHALL MAINTAIN ACCESS AND SERVICES TO ALL OWNERS FACILITIES AND UTILITIES AT ALL TIMES.
- J. SEALANTS SHALL BE PROVIDED AT ALL JOINTS WHERE DIFFERENT MATERIALS ABUT.
- K. INFORMATION FOR THESE DOCUMENTS HAS BEEN GATHERED FROM AVAILABLE SOURCES. THERE IS NO INTENT TO GUARANTEE THE ACCURACY AND COMPLETENESS OF THIS INFORMATION. CONTRACTOR SHALL INVESTIGATE AND VERIFY ACTUAL CONDITIONS AT THE SITE IN SO FAR AS SUCH INFORMATION AFFECTS INDIVIDUAL CONTRACTS.
- L. CONTRACTOR SHALL COORDINATE LOCATION OF STAGING/STORAGE AREAS WITH THE OWNER.

Dwg. Revisions:

Revision Number	Revision Date

SEAL

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& ASSOCIATES, LLC.

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CHURCH VIEW COMMONS

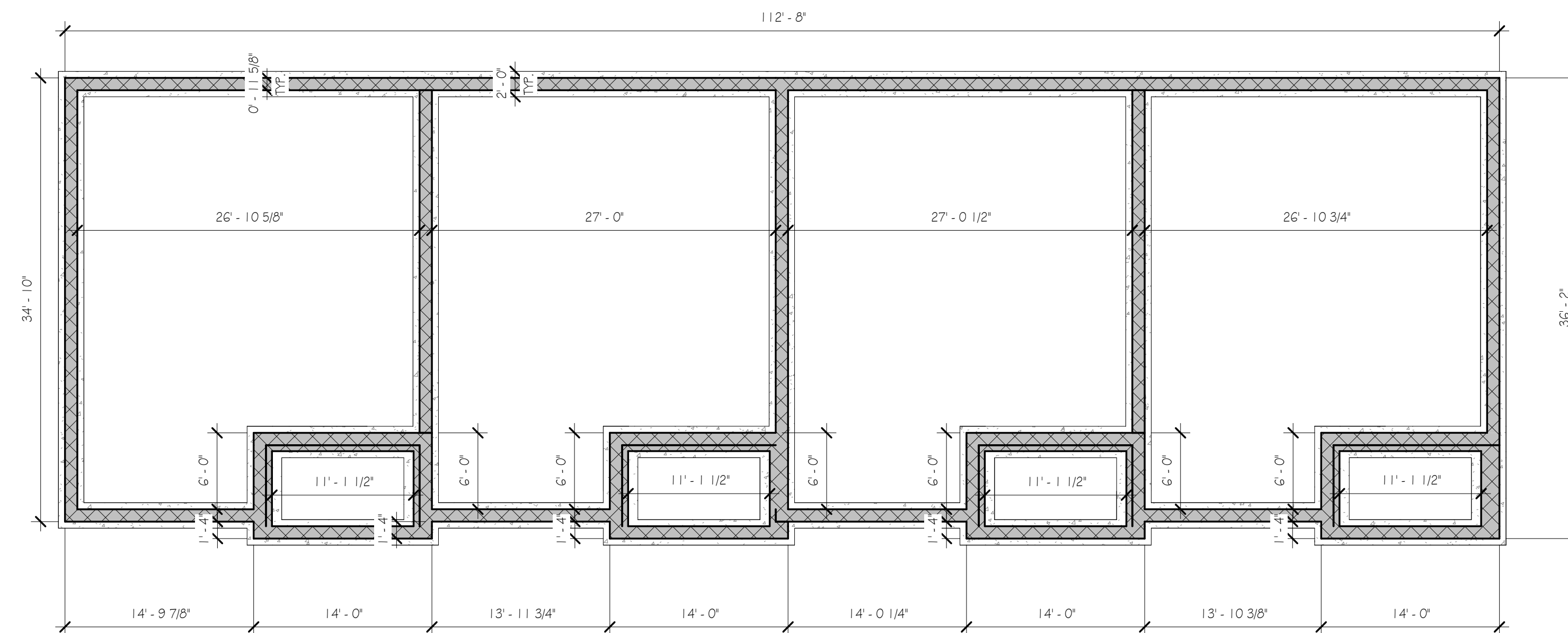
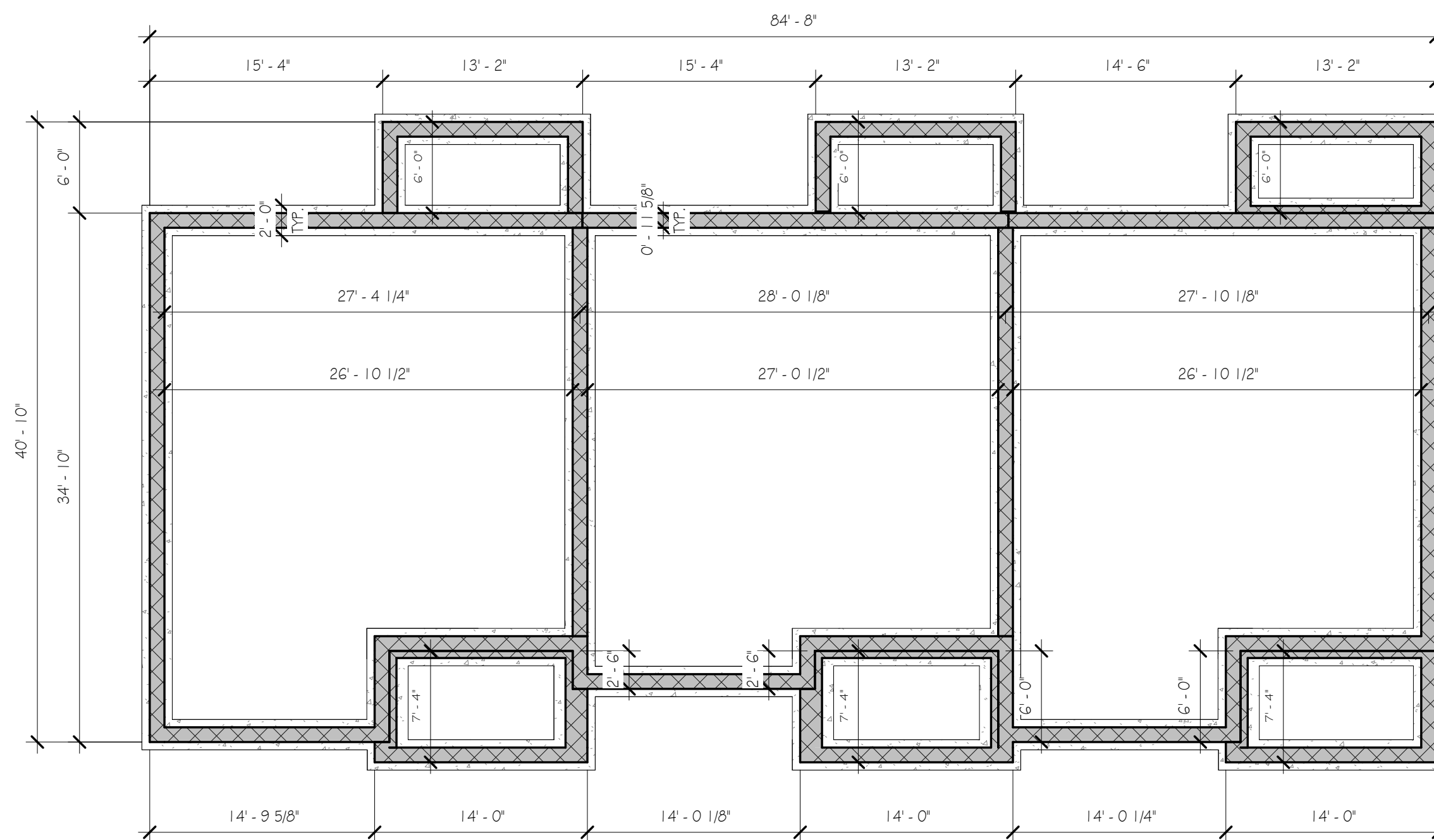
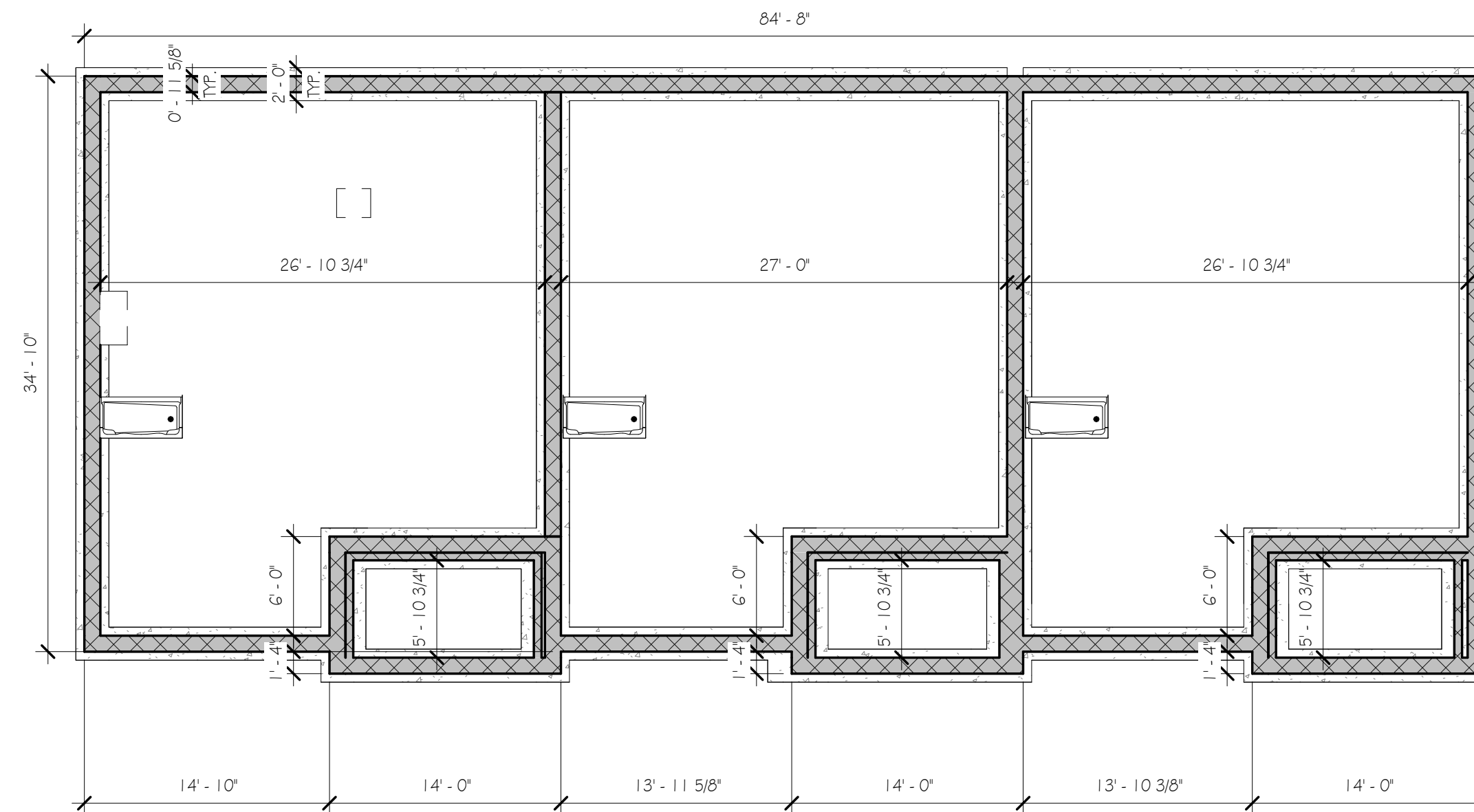
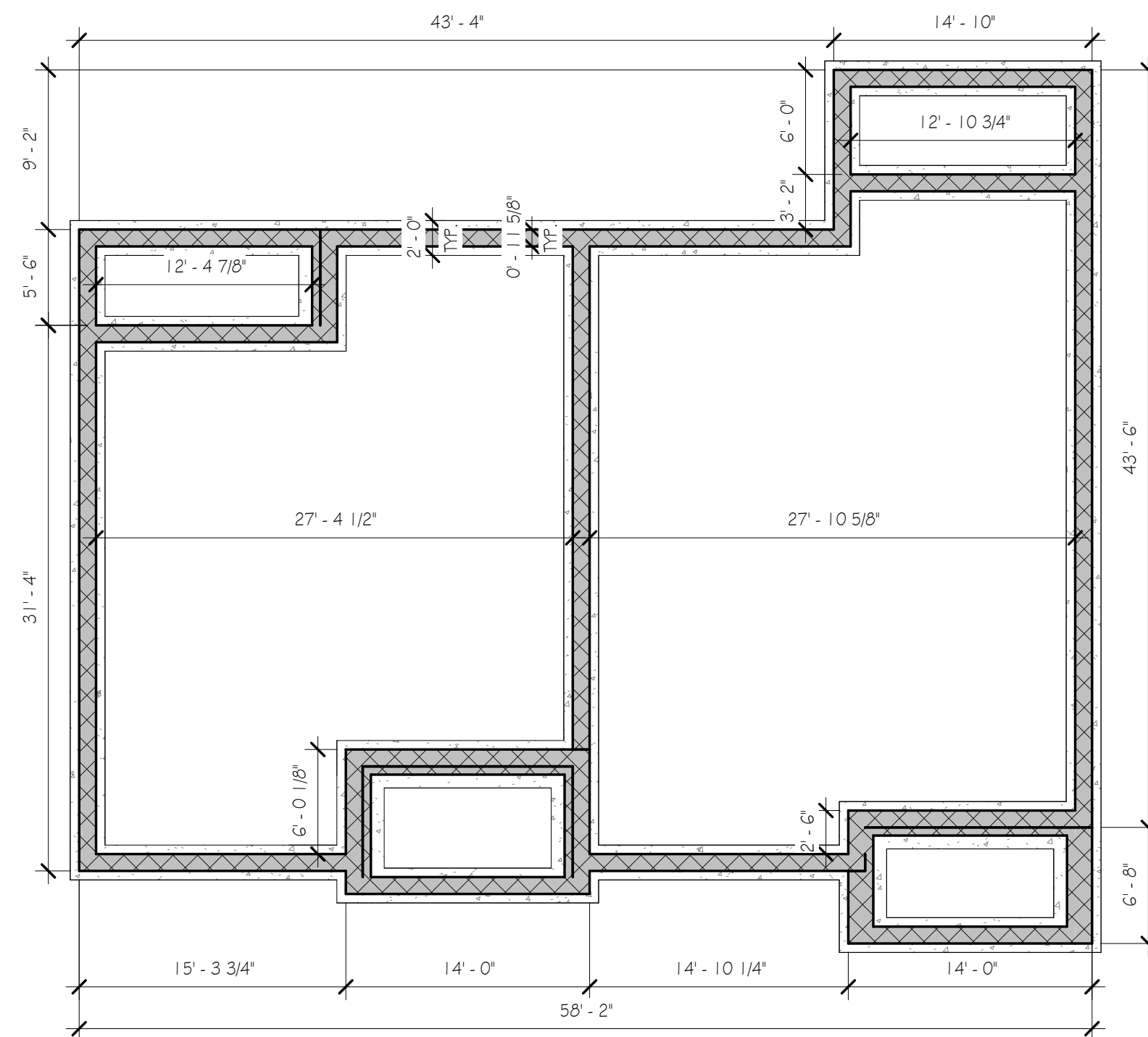
MOUNT PLEASANT TOWNSHIP, WESTMORELAND
COUNTY, PA

WESTMORELAND NON-PROFIT HOUSING CORPORATION

GENERAL NOTES, ABBREVIATIONS, AND LEGEND

Scale:	As indicated
Date:	11/23/2021
Drawn By:	L.MEYER
Checked By:	Checker
Project No.:	2141
File No.:	

Drawing No.
A001

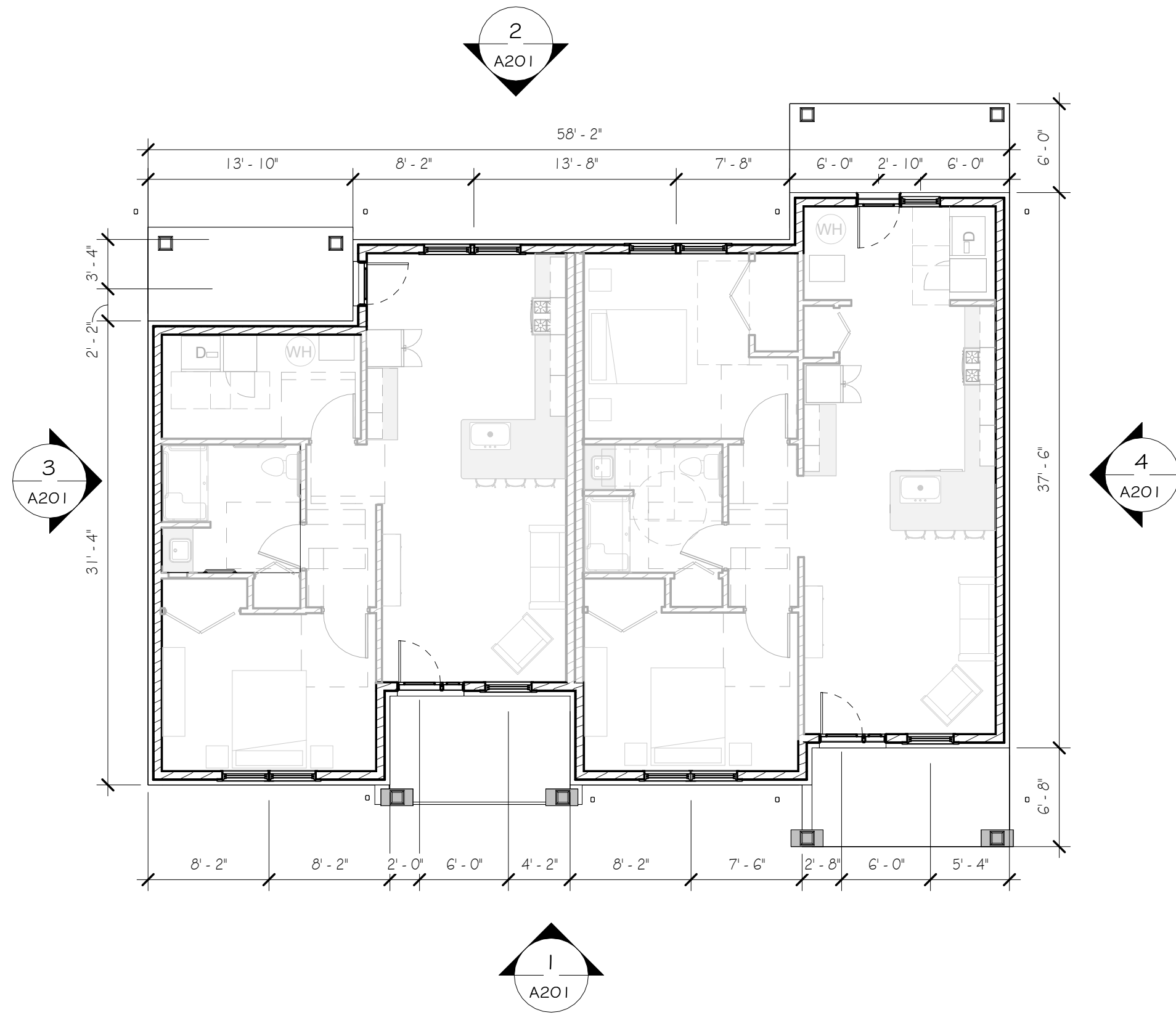
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CHURCH VIEW COMMONS
MOUNT PLEASANT TOWNSHIP, WESTMORELAND
COUNTY, PA
FOR
WESTMORELAND NON-PROFIT HOUSING CORPORATION

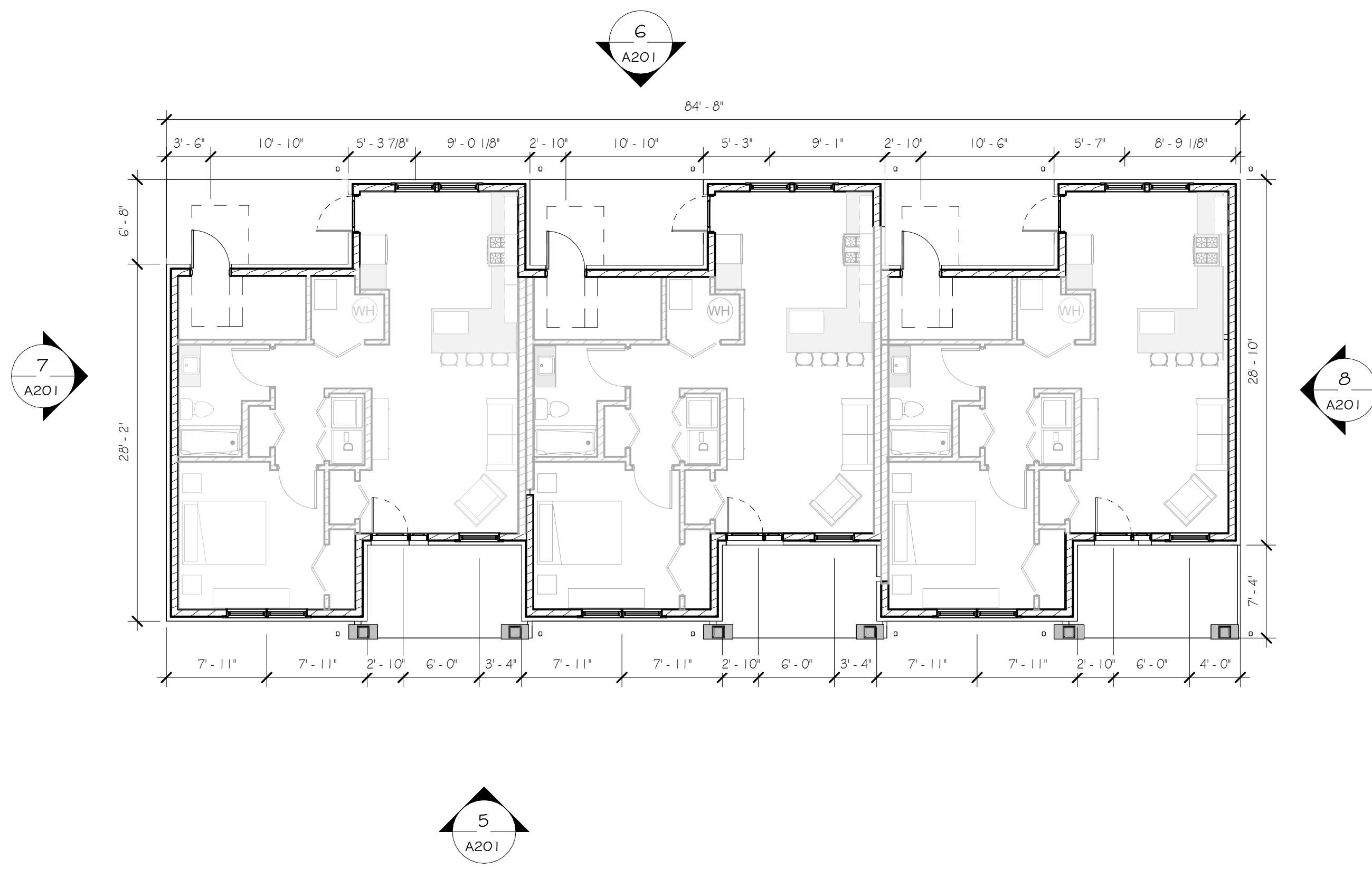
FOUNDATION PLANS

Scale:	As indicated
Date:	11/23/2021
Drawn By:	Author
Checked By:	Checker
Project No.:	2141
File No.:	

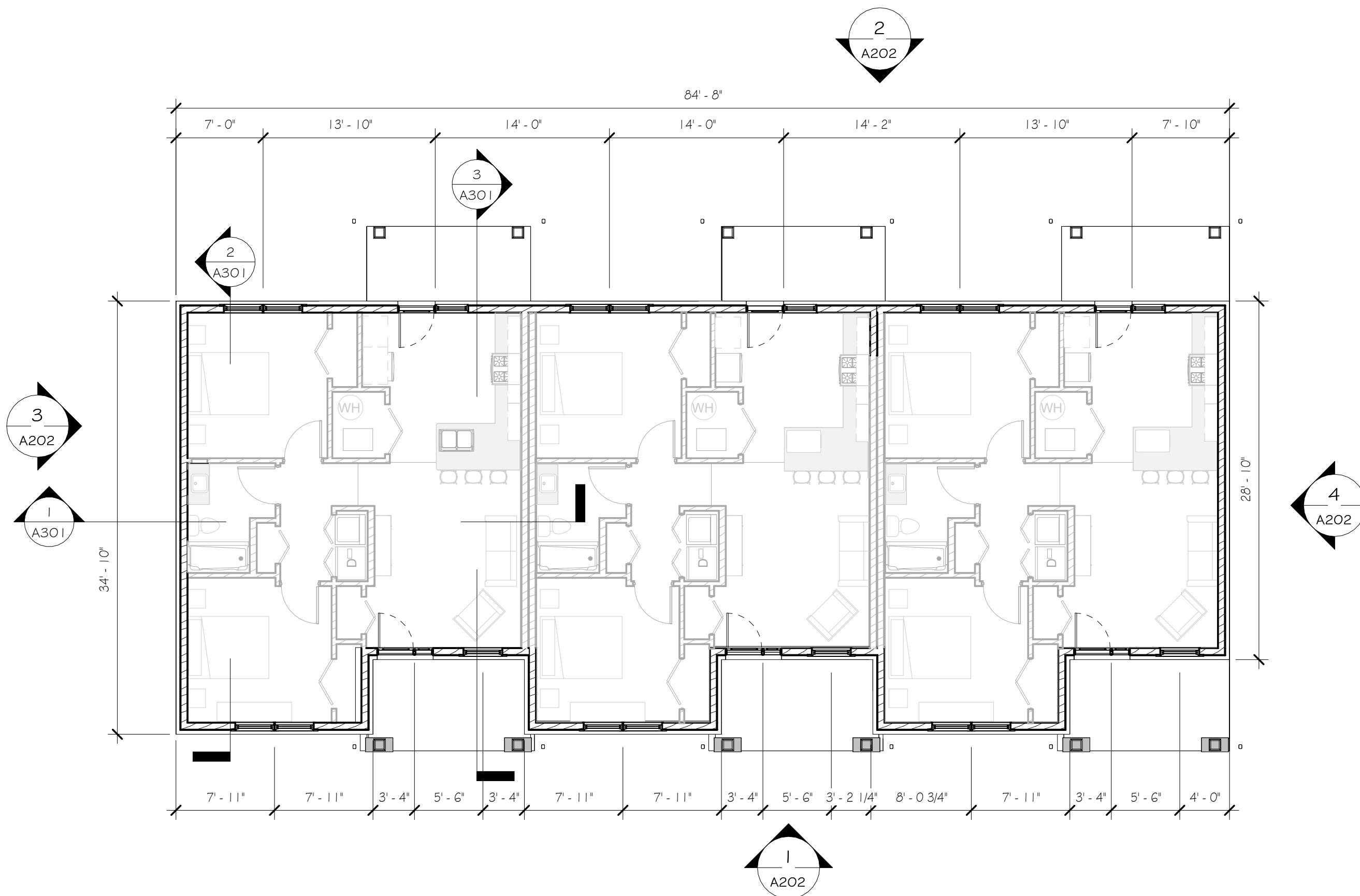
Drawing No.
A101



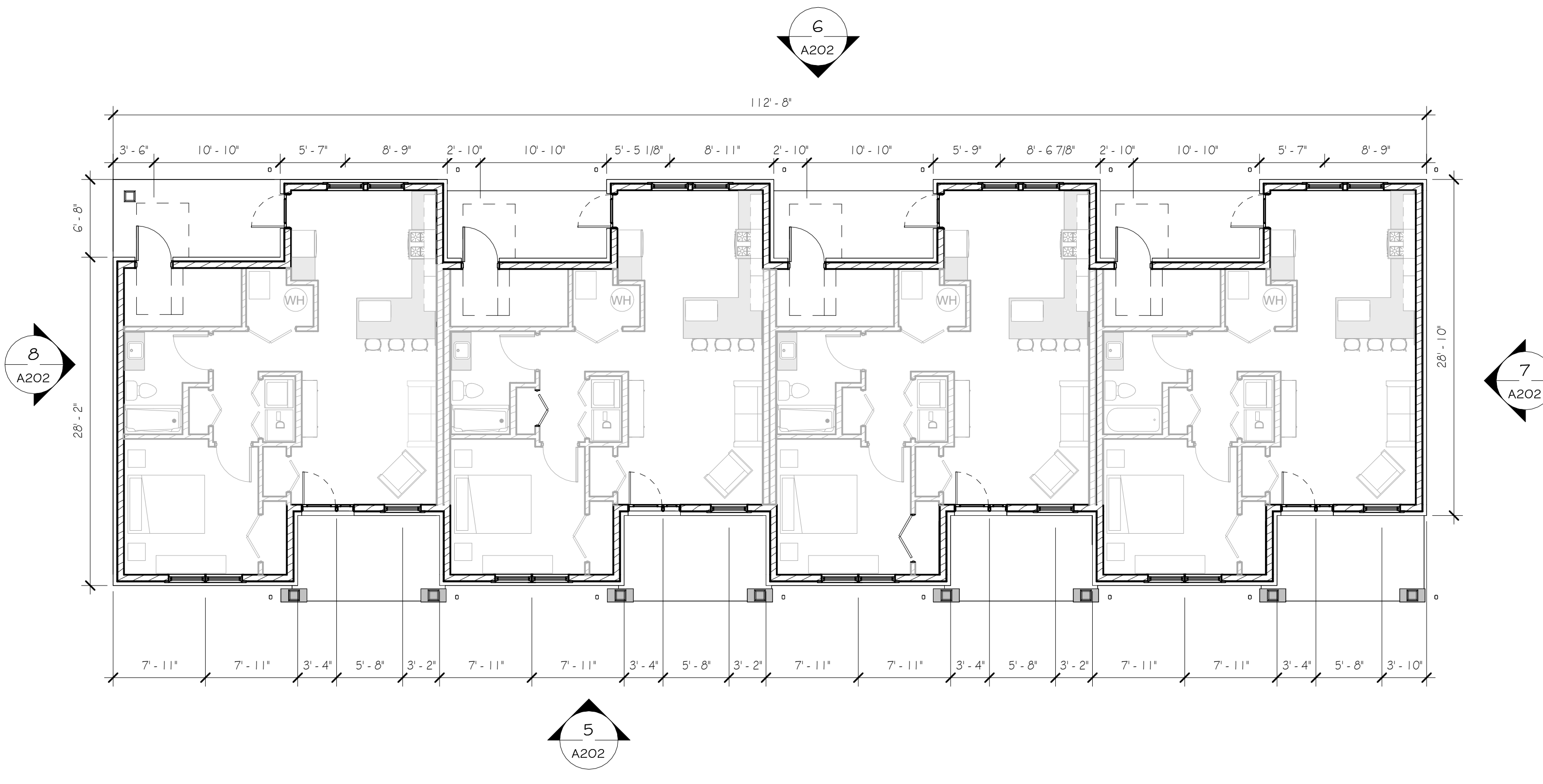
1 FLOOR PLAN - BUILDING TYPE A
1/8" = 1'-0"



2 FLOOR PLAN - BUILDING TYPE B
1/8" = 1'-0"



3 FLOOR PLAN - BUILDING TYPE C
1/8" = 1'-0"



4 FLOOR PLAN - BUILDING TYPE D
1/8" = 1'-0"

Dwg. Revisions:

Revision Number	Revision Date

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& ASSOCIATES, LLC.

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CHURCH VIEW COMMONS

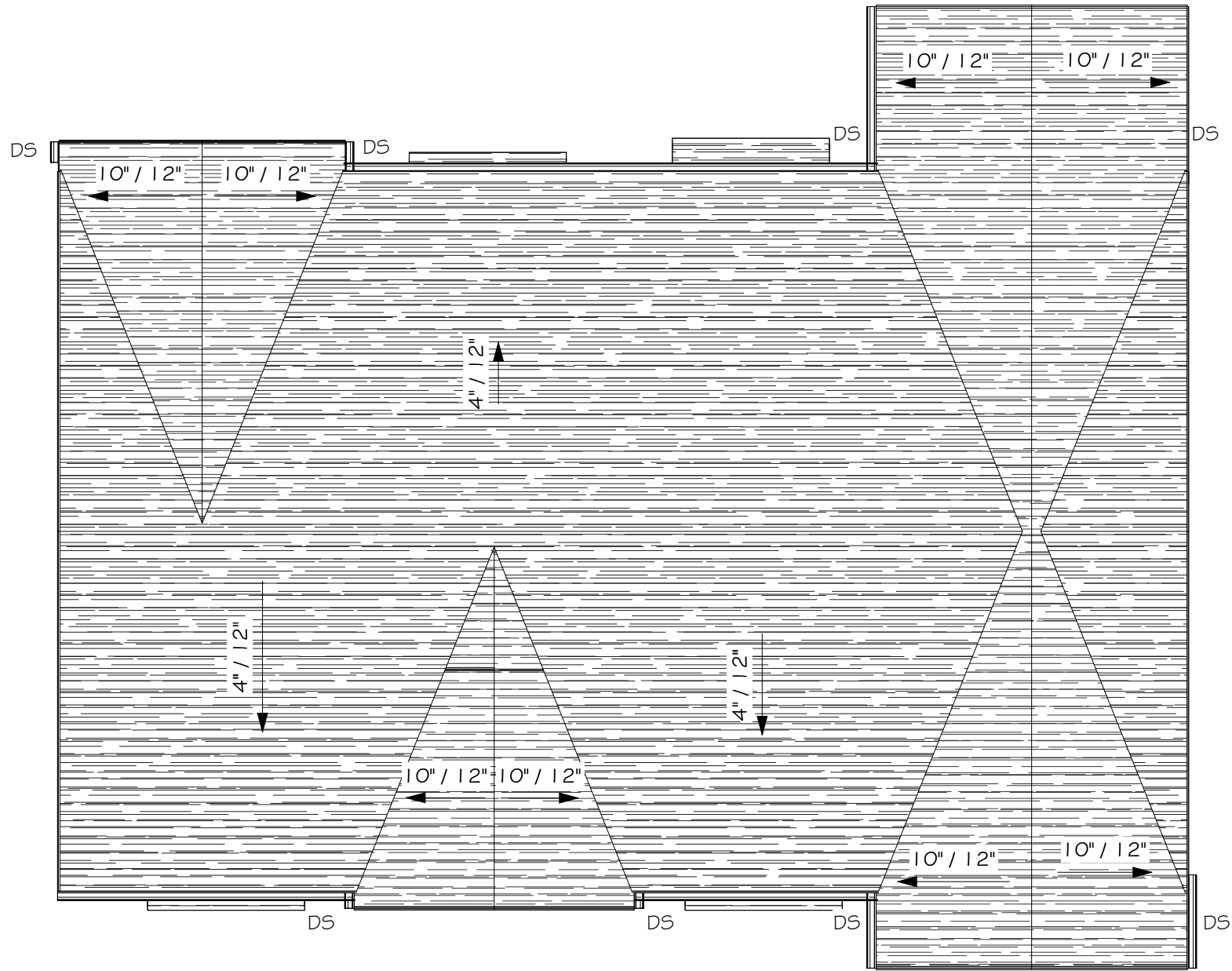
MOUNT PLEASANT TOWNSHIP, WESTMORELAND
COUNTY, PA

WESTMORELAND NON-PROFIT HOUSING CORPORATION

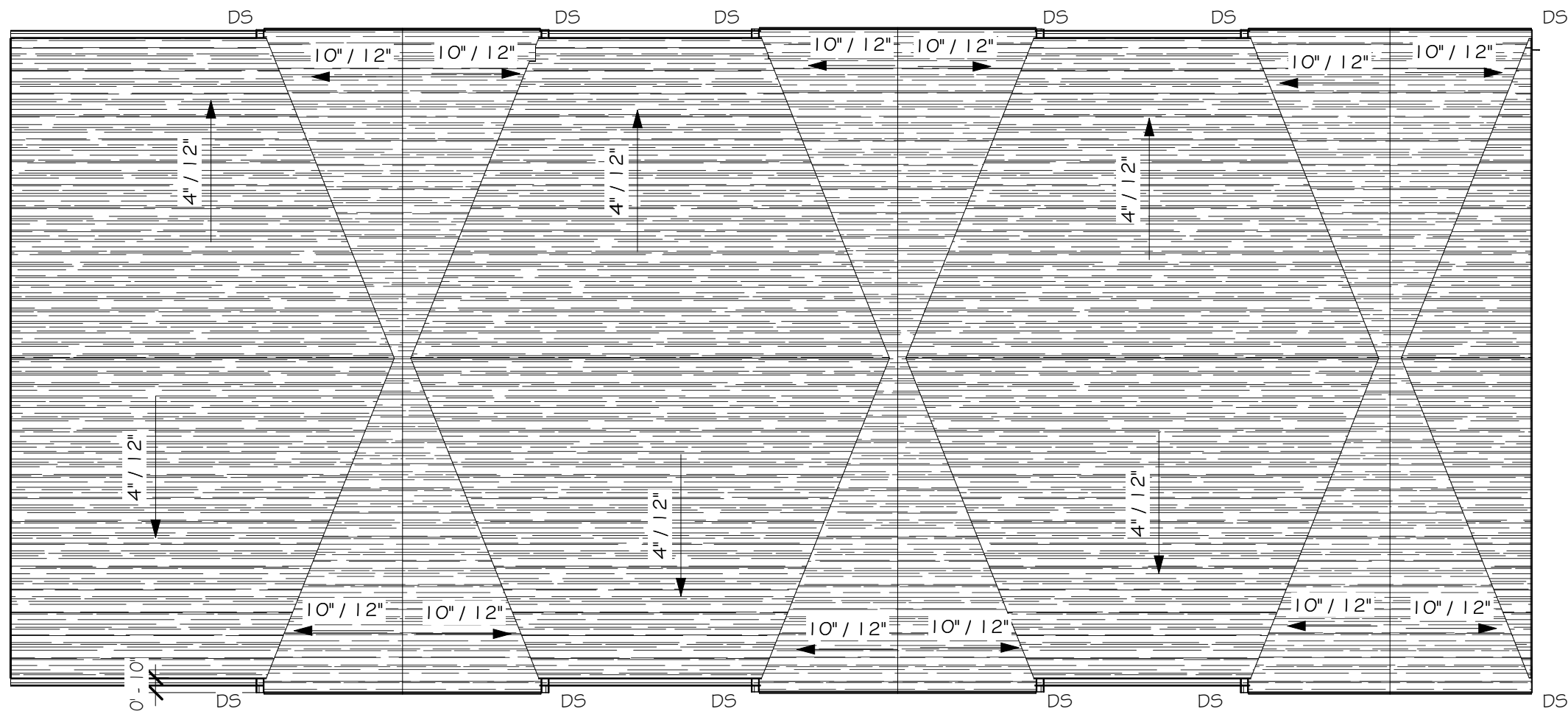
FIRST FLOOR PLANS

Scale:	As indicated
Date:	11/23/2021
Drawn By:	Author
Checked By:	Checker
Project No.:	2141
File No.:	

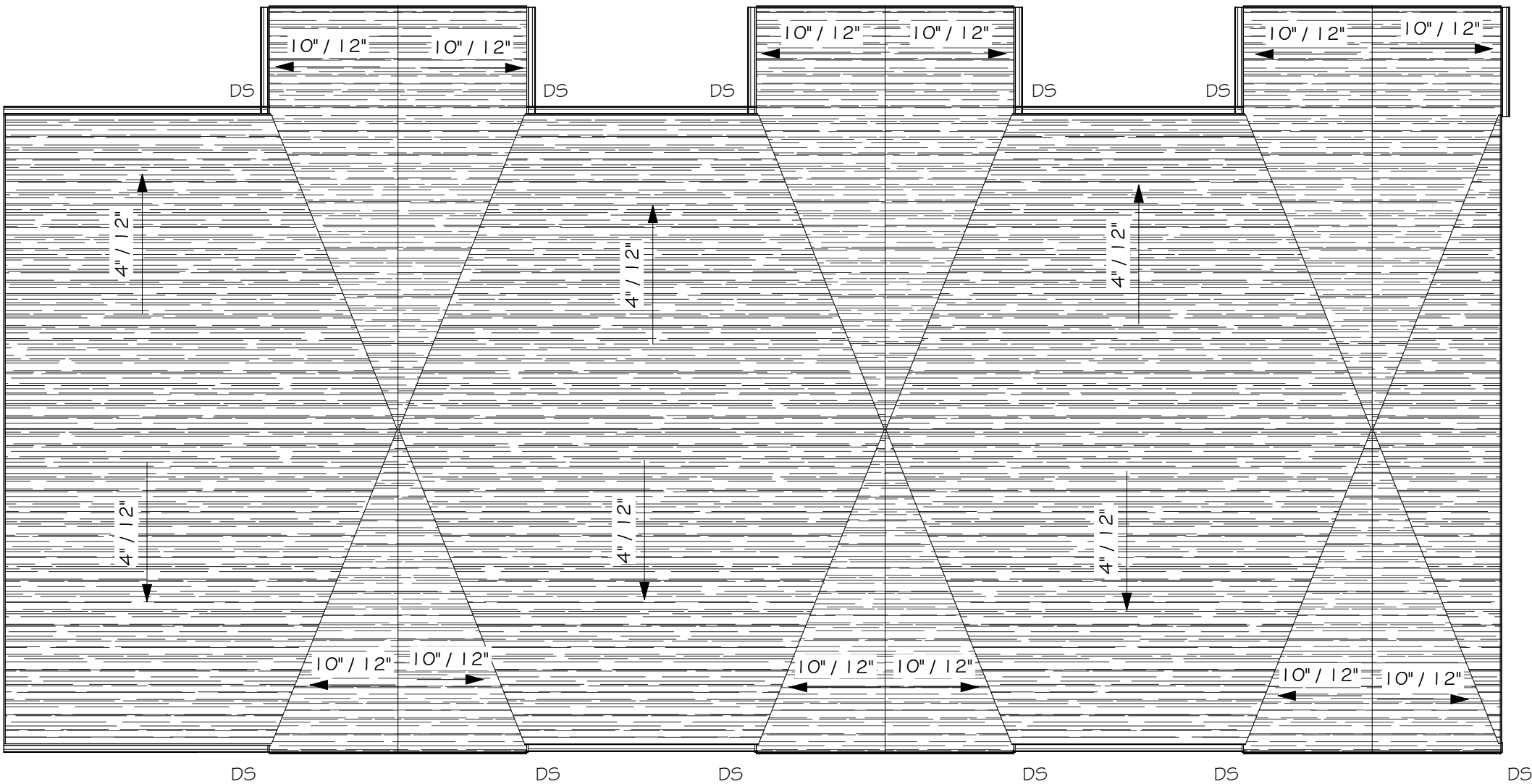
Drawing No.
A102



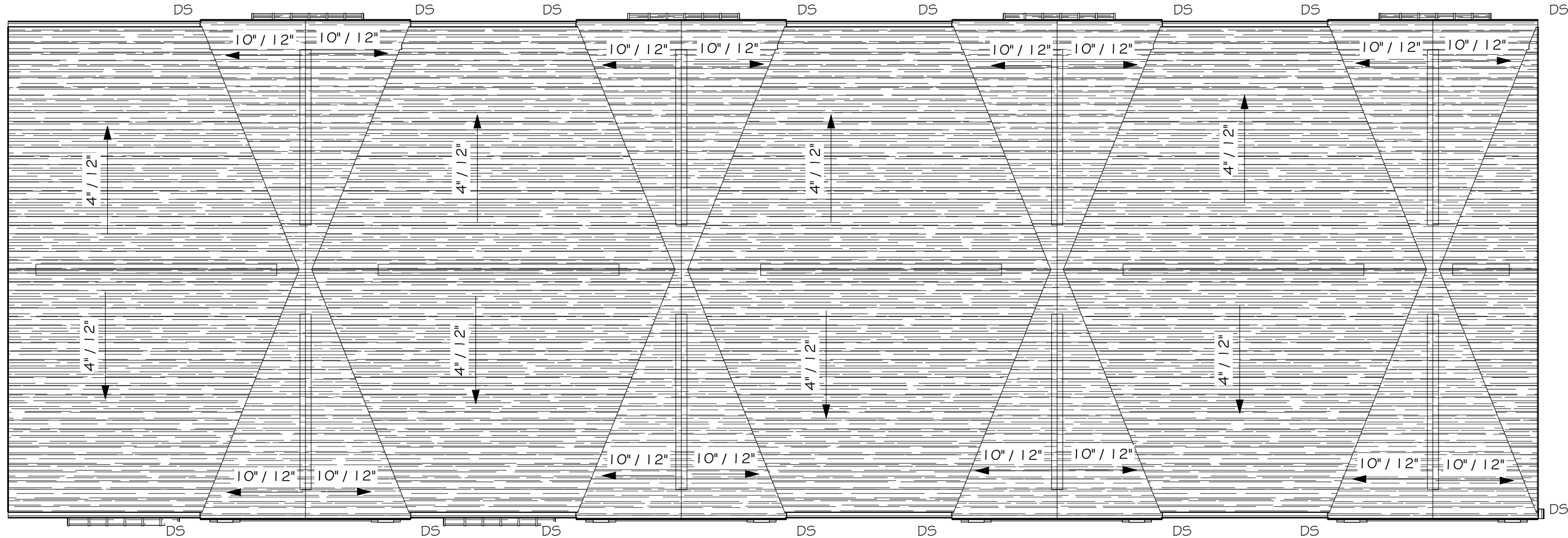
1 ROOF PLAN - BUILDING TYPE A
1/8" = 1'-0"



2 ROOF PLAN - BUILDING TYPE B
1/8" = 1'-0"



3 ROOF PLAN - BUILDING TYPE C
1/8" = 1'-0"



4 ROOF PLAN - BUILDING TYPE D
1/8" = 1'-0"

Dwg. Revisions:

Revision Number	Revision Date

CANZIAN/JOHNSTON & ASSOCIATES, LLC.

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CHURCH VIEW COMMONS
MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA
WESTMORELAND NON-PROFIT HOUSING CORPORATION

Scale:	As indicated
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Project No.:	2141
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Drawing No.
A103



1 BUILDING TYPE A - FRONT ELEVATION
1/8" = 1'-0"



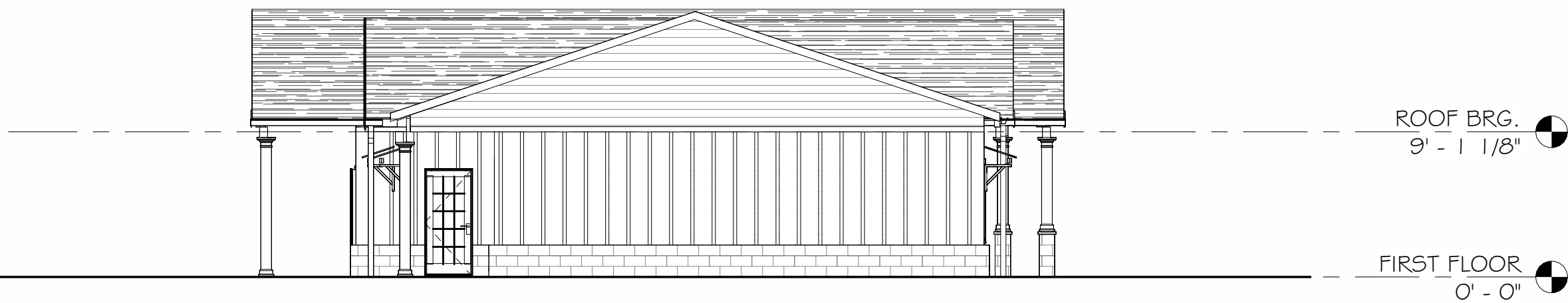
5 BUILDING TYPE B - FRONT ELEVATION
1/8" = 1'-0"



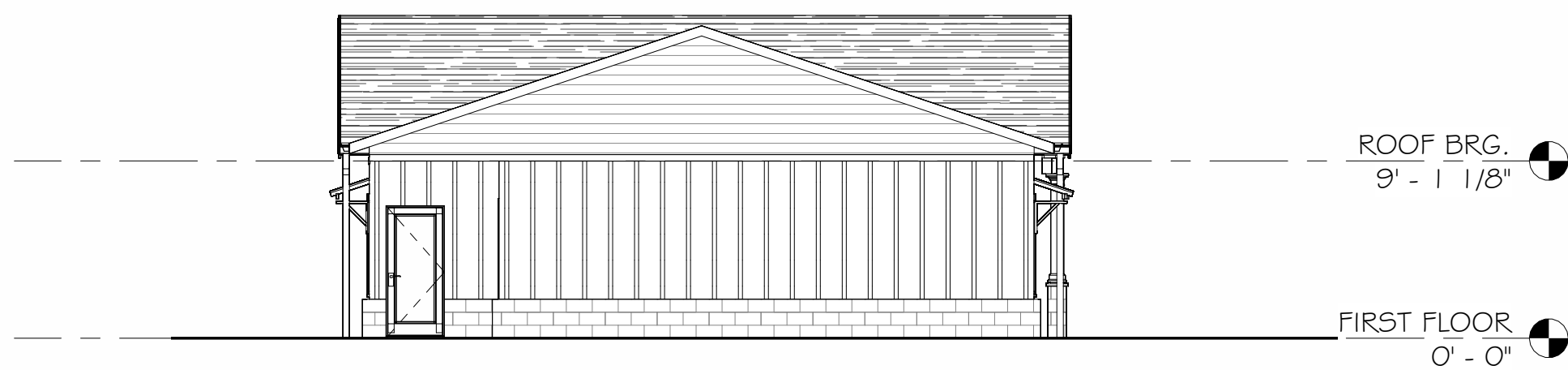
2 BUILDING TYPE A - REAR ELEVATION
1/8" = 1'-0"



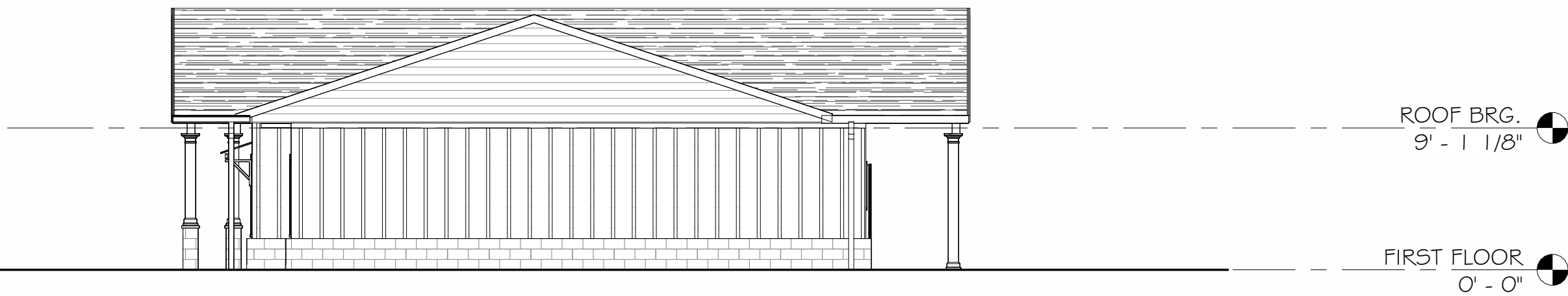
6 BUILDING TYPE B - BACK ELEVATION
1/8" = 1'-0"



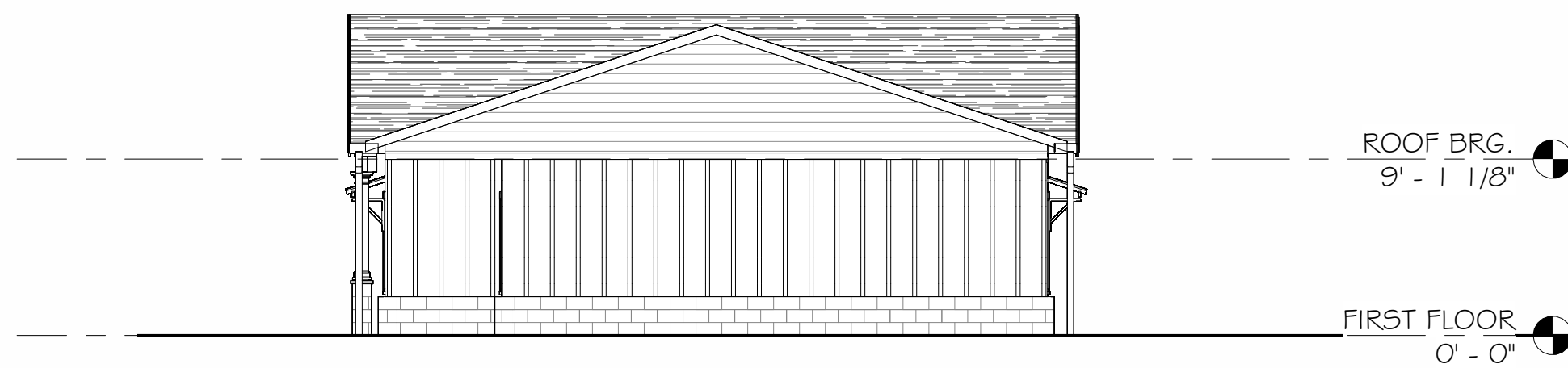
3 BUILDING TYPE A - SIDE ELEVATION 1
1/8" = 1'-0"



7 BUILDING TYPE B - SIDE ELEVATION 1
1/8" = 1'-0"



4 BUILDING TYPE A - SIDE ELEVATION 2
1/8" = 1'-0"



8 BUILDING TYPE B - SIDE ELEVATION 2
1/8" = 1'-0"

Dwg. Revisions:

Revision Number	Revision Date
-----------------	---------------

SEAL

CANZIAN/JOHNSTON & ASSOCIATES, LLC.

CANZIAN / JOHNSTON & ASSOCIATES, LLC
ARCHITECTS
301 MARKET STREET, NEW BRUNSWICK, NEW JERSEY 08901
PRINCIPALS: ARON M. CANZIAN, R.A., DAN MASKE, R.A., HEADLINE WORKSHOP



CHURCH VIEW COMMONS

MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA

WESTMORELAND NON-PROFIT HOUSING CORPORATION

BUILDING ELEVATIONS - BUILDING TYPES A AND B

Scale:	As indicated
Date:	11/23/2021
Drawn By:	L.MEYER
Checked By:	Checker
Project No.:	2141
File No.:	

Drawing No.
A201



1 BUILDING TYPE C - FRONT ELEVATION
A202/ 1/8" = 1'-0"



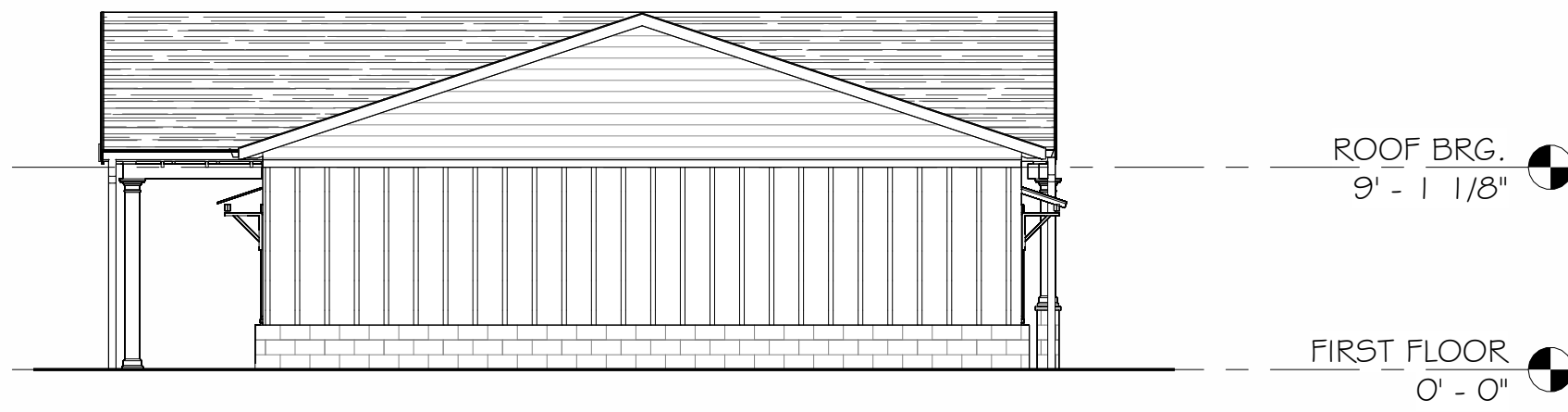
5 BUILDING TYPE D - FRONT ELEVATION
A202/ 1/8" = 1'-0"



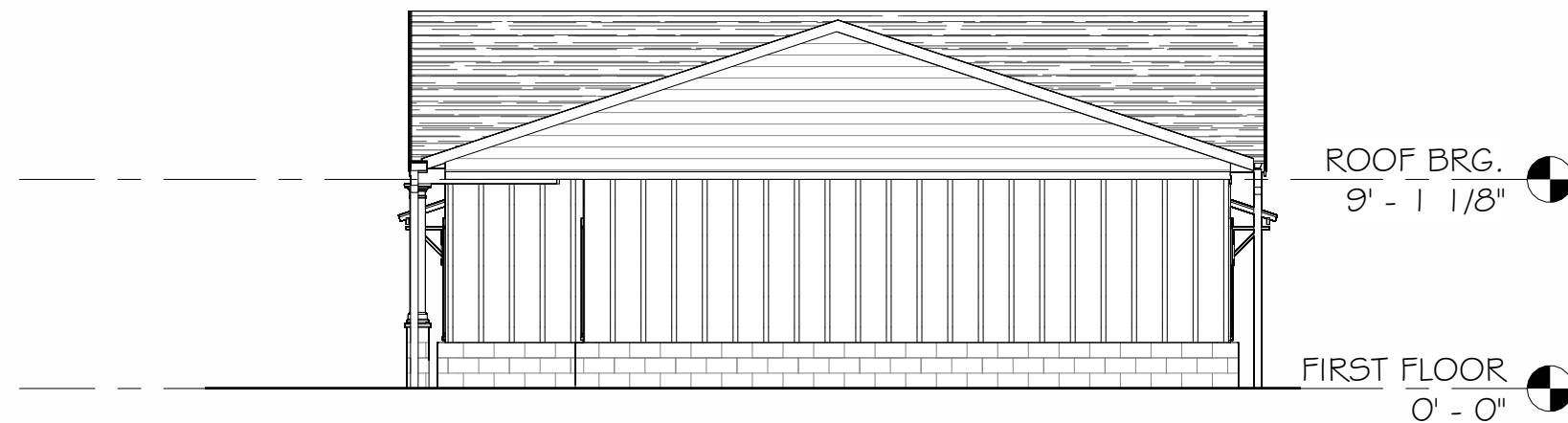
2 BUILDING TYPE C - BACK ELEVATION
A202/ 1/8" = 1'-0"



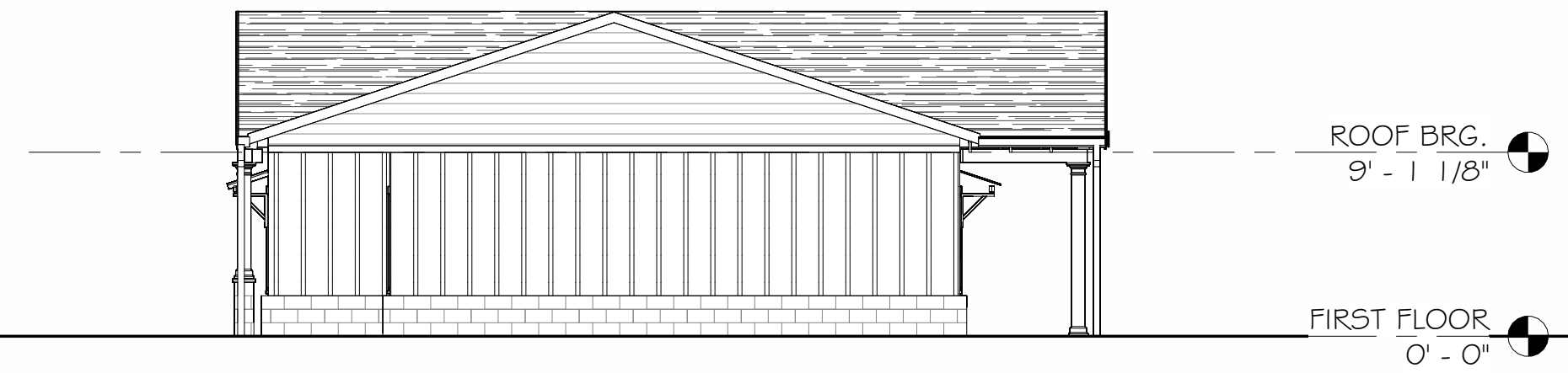
6 BUILDING TYPE D - REAR ELEVATION
A202/ 1/8" = 1'-0"



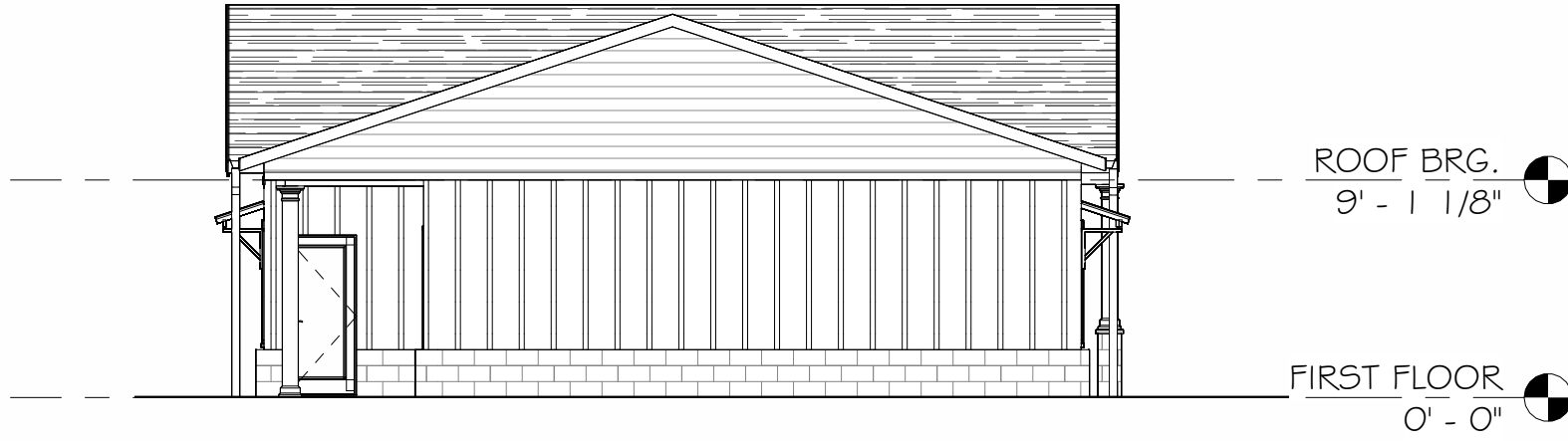
3 BUILDING TYPE C - SIDE ELEVATION 1
A202/ 1/8" = 1'-0"



7 BUILDING TYPE D - SIDE ELEVATION 1
A202/ 1/8" = 1'-0"



4 BUILDING TYPE C - SIDE ELEVATION 2
A202/ 1/8" = 1'-0"



8 BUILDING TYPE D - SIDE ELEVATION 2
A202/ 1/8" = 1'-0"

Dwg. Revisions:

Revision Number	Revision Date

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& ASSOCIATES, LLC.

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ARCHITECTS
301 MARKET STREET, NEW BRUNSWICK, NEW JERSEY 08901
PRINCIPALS: ARON M. CANZIAN, R.A., DAN MASKE, R.A., HEATHER WINKLER



CHURCH VIEW COMMONS

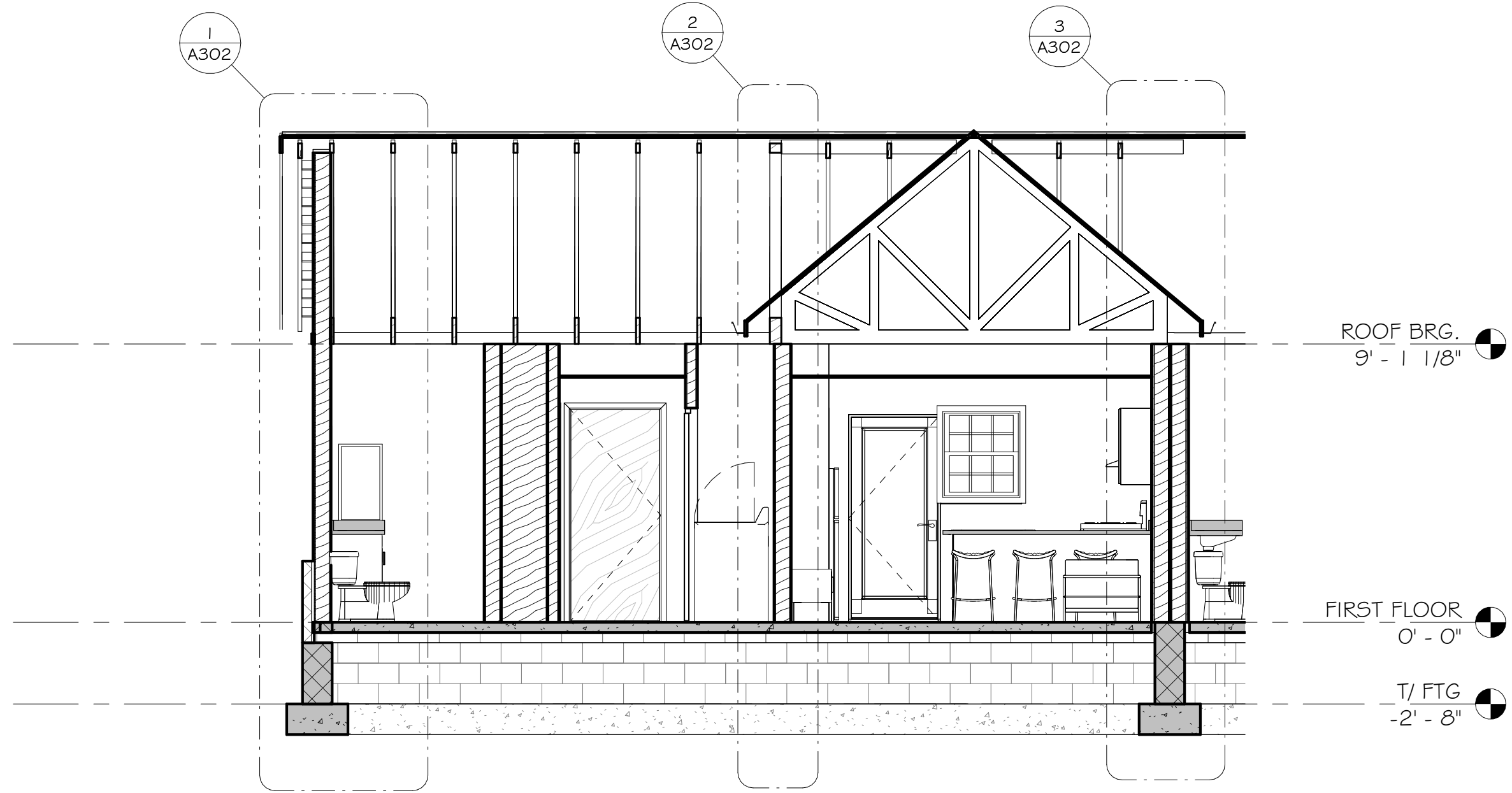
MOUNT PLEASANT TOWNSHIP, WESTMORELAND
COUNTY, PA

WESTMORELAND NON-PROFIT HOUSING CORPORATION

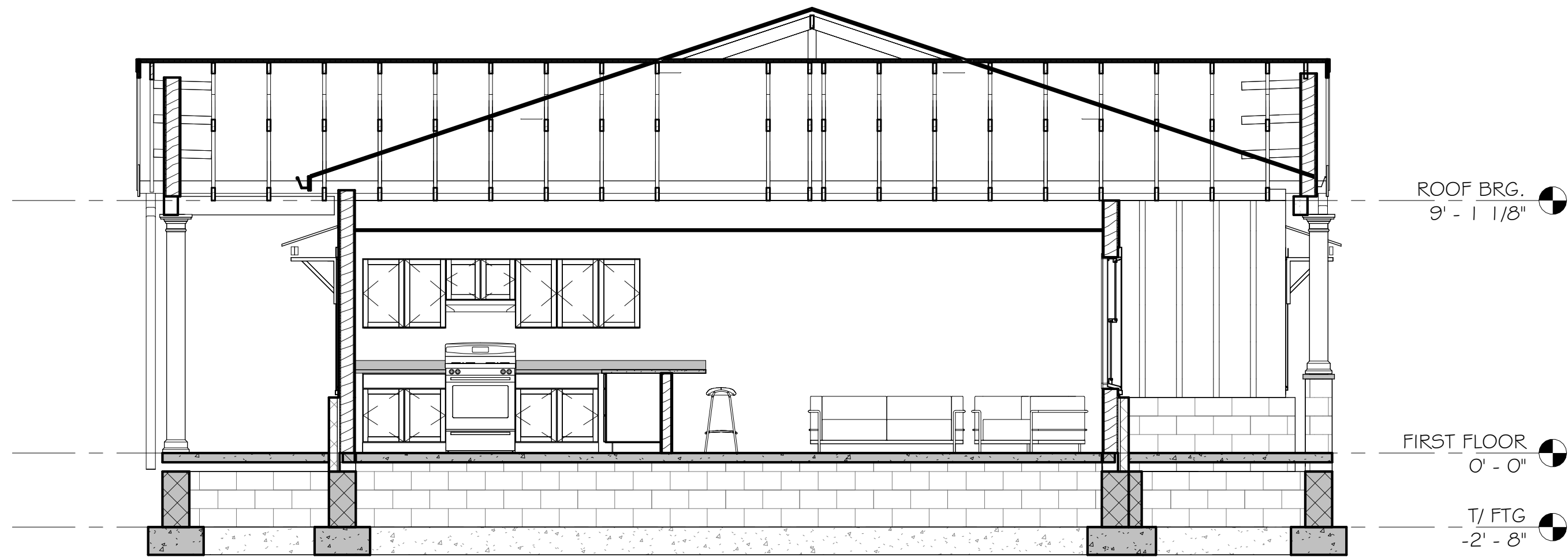
BUILDING ELEVATIONS - 4 UNIT BUILDING

Scale:	As indicated
Date:	11/23/2021
Drawn By:	L.MEYER
Checked By:	Checker
Project No.:	2141
File No.:	

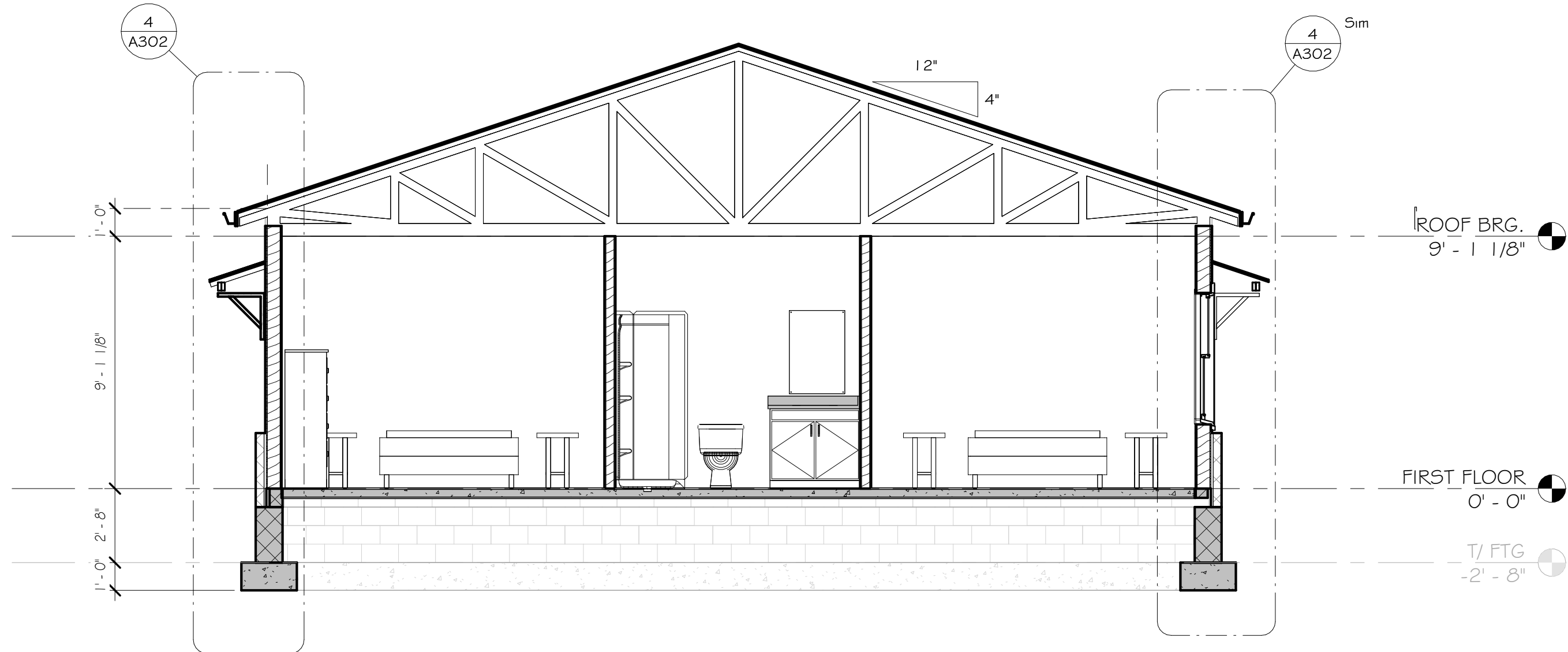
Drawing No.
A202



1 Section 1
A301 1/4" = 1'-0"



3 Section 3
A301 1/4" = 1'-0"




2 Section 2
A301 1/4" = 1'-0"

Dwg. Revisions:	
Revision Number	Revision Date

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CANZIAN/JOHNSTON & ASSOCIATES, LLC.



CANZIAN / JOHNSTON & ASSOCIATES, LLC
A R C H I T E C T S
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PRINCIPALS: ARON M. CANZIAN, P.A., DAN MASKE, P.A., HEATHER WINKLER



CHURCH VIEW COMMONS

MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA

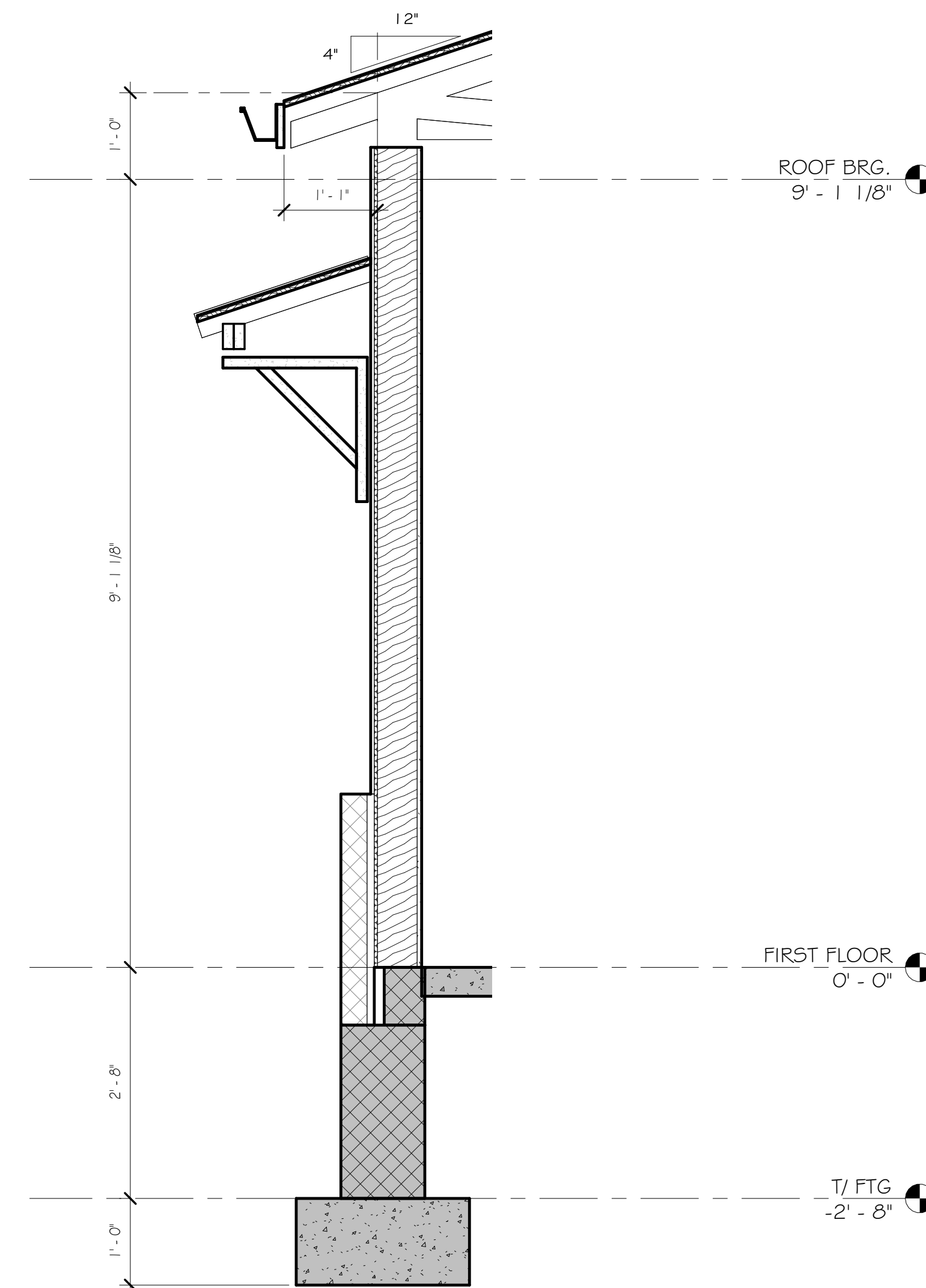
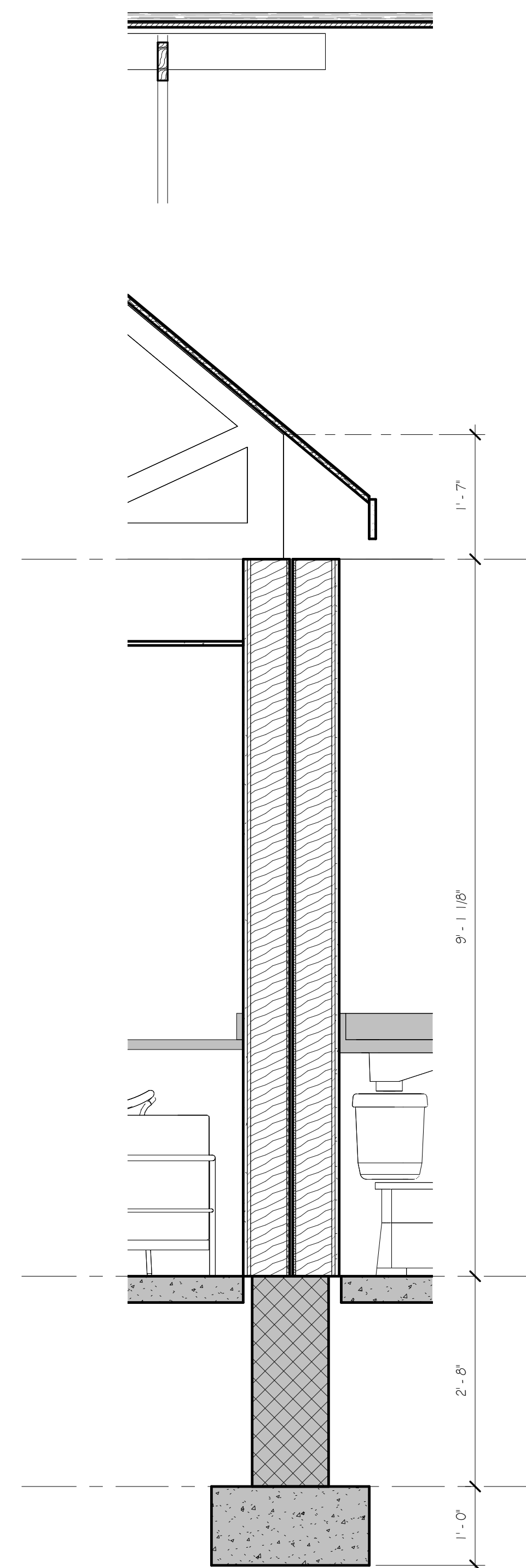
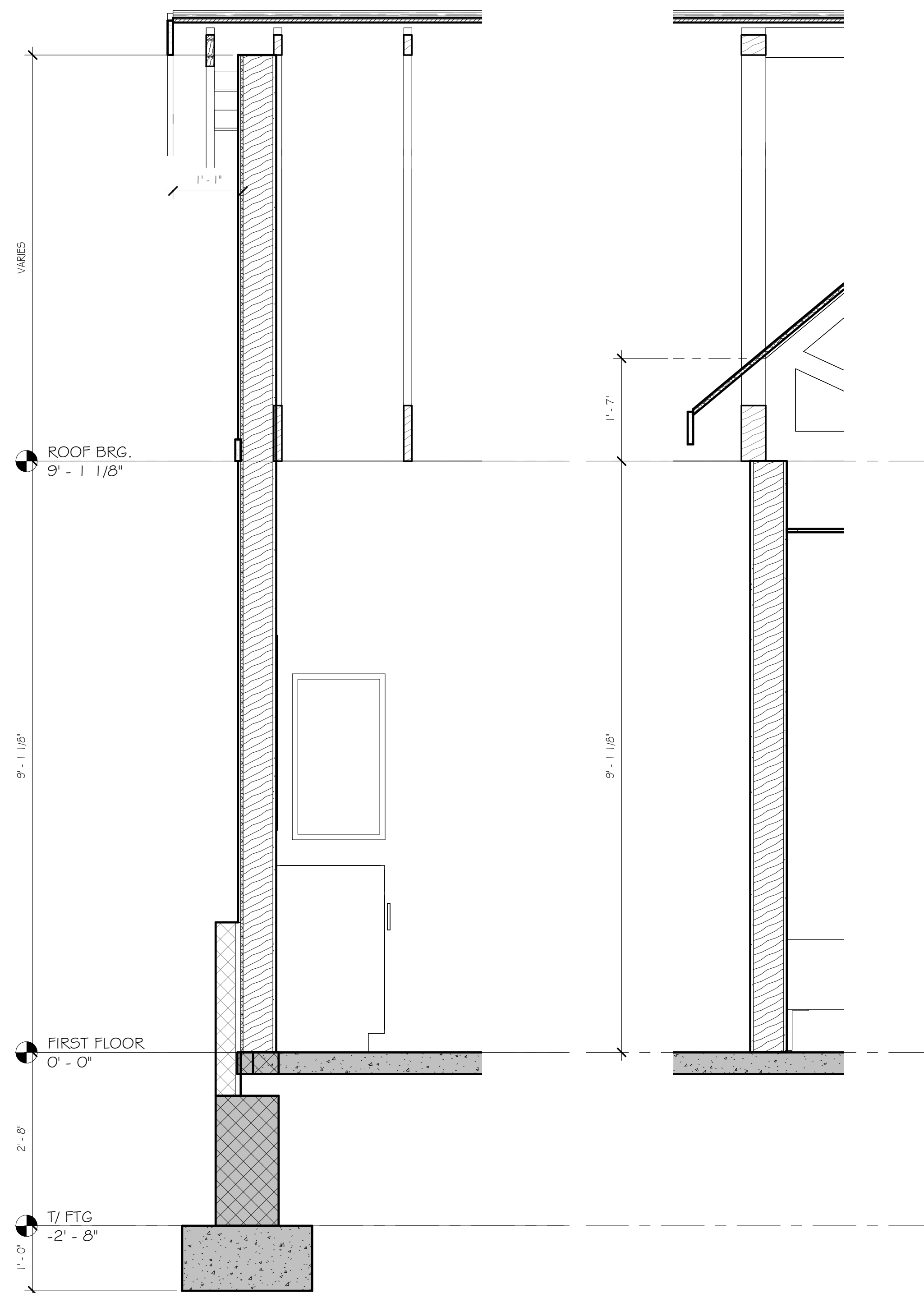
WESTMORELAND NON-PROFIT HOUSING CORPORATION

TYPICAL BUILDING SECTIONS

Scale:	As indicated
Date:	11/23/2021
Drawn By:	L.MEYER
Checked By:	Checker
Project No.:	2141
File No.:	

Drawing No.

A301



Dwg. Revisions:	
Revision Number	Revision Date

SEAL

**CANZIAN/JOHNSTON
& ASSOCIATES, LLC.**

3 **ARCTIC** **CANZIAN / JOHNSTON & ASSOCIATES, LLC**
641 MAIN STREET NEW BEDFORD, PENNSYLVANIA 15086 • www.CJarchitects.com • Tel. 724-338-6511 Fax: 724-338-1492
PRINCIPALS: Antoni M. Canzian, R.A., Dan Maczek, R.A., Heather Werkiser



CHURCH VIEW COMMONS

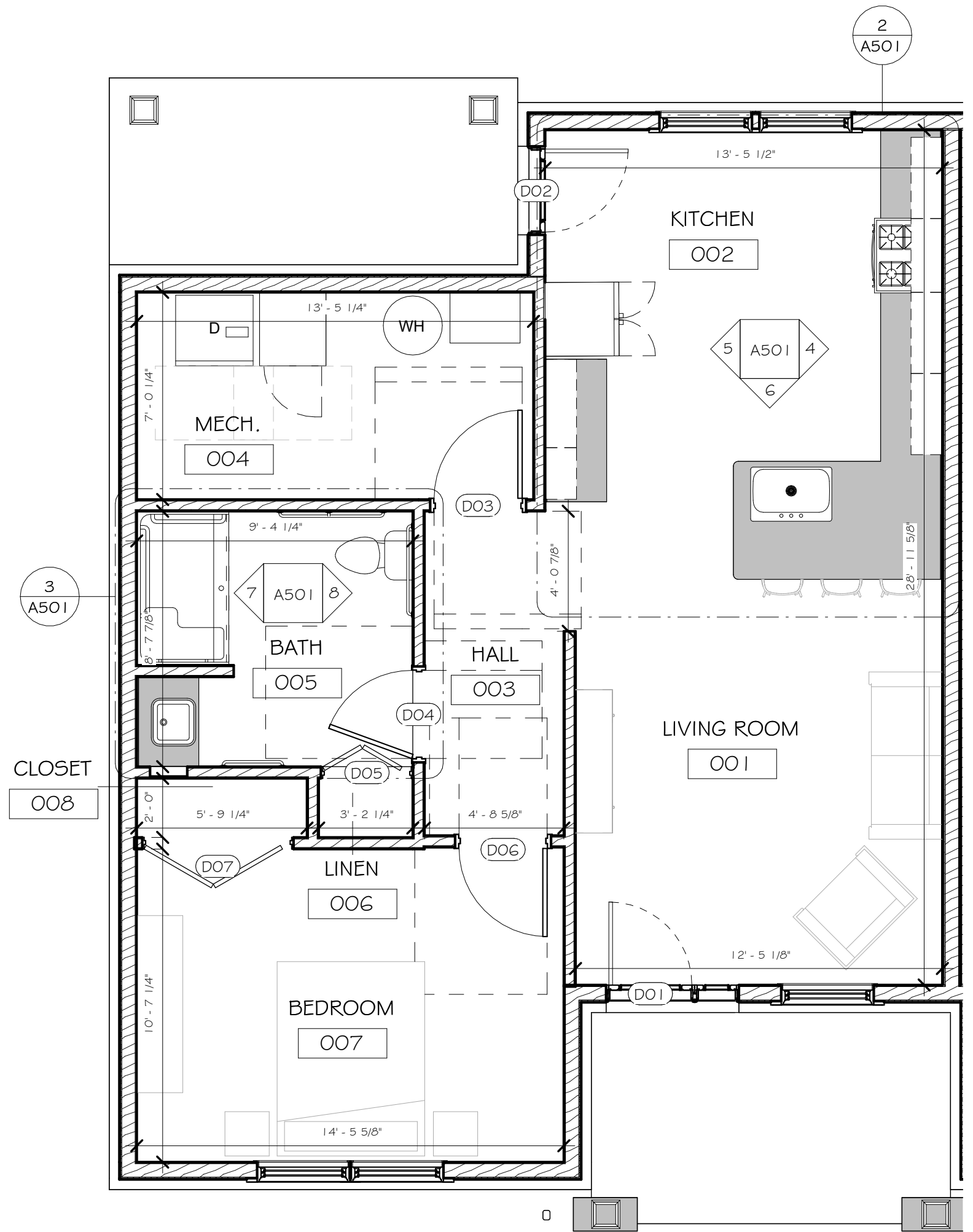
**MOUNT PLEASANT TOWNSHIP, WESTMORELAND
COUNTY, PA
FOR
SITUATE**

WESTMORELAND NON-PROFIT HOUSING CORPORATION

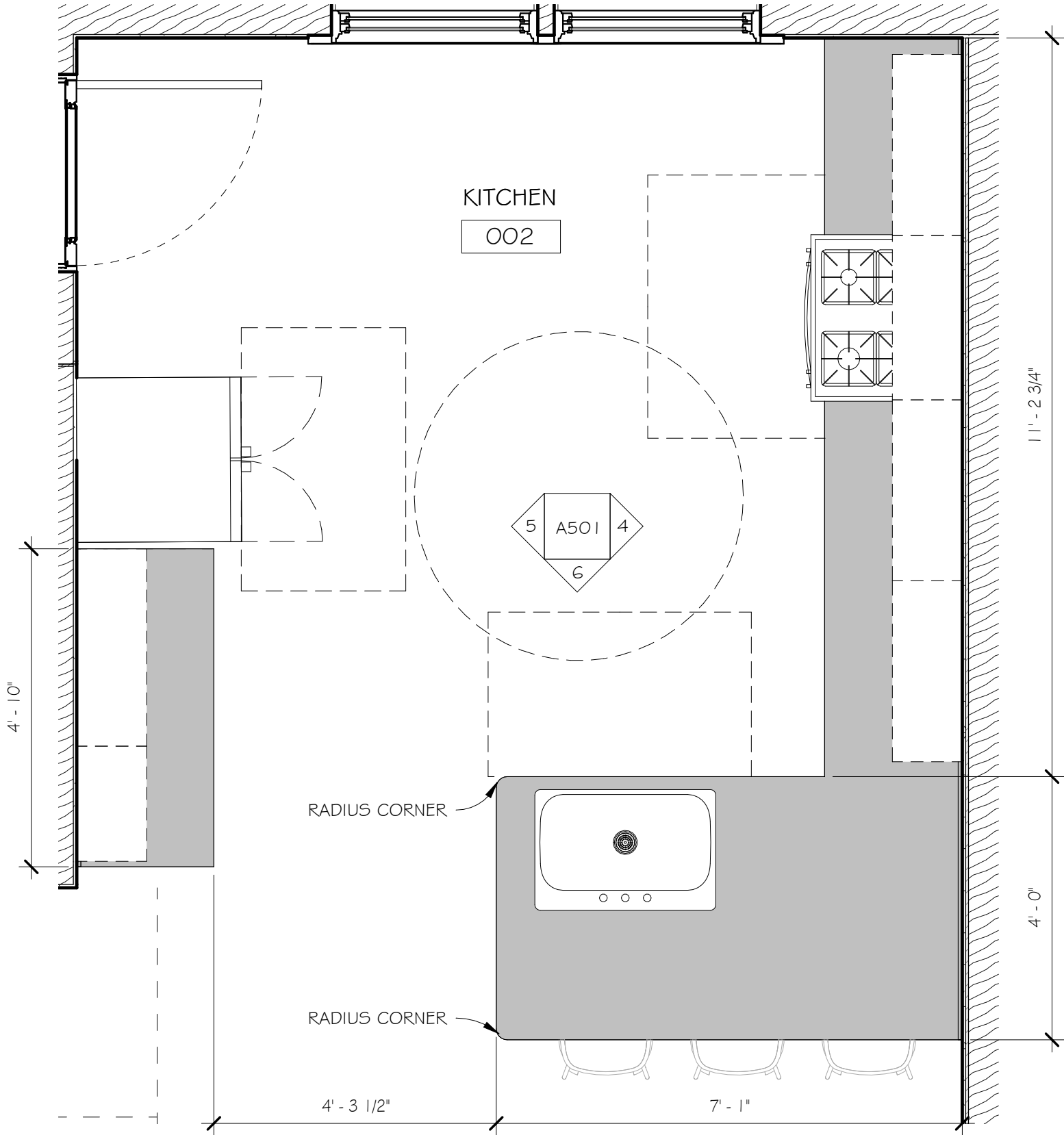
SYNOPSIS: WALL SECTIONS

Scale:	As indicated
Date:	11/23/2021
Drawn By:	Author
Checked By:	Checker
Project No.:	2141
File No.:	

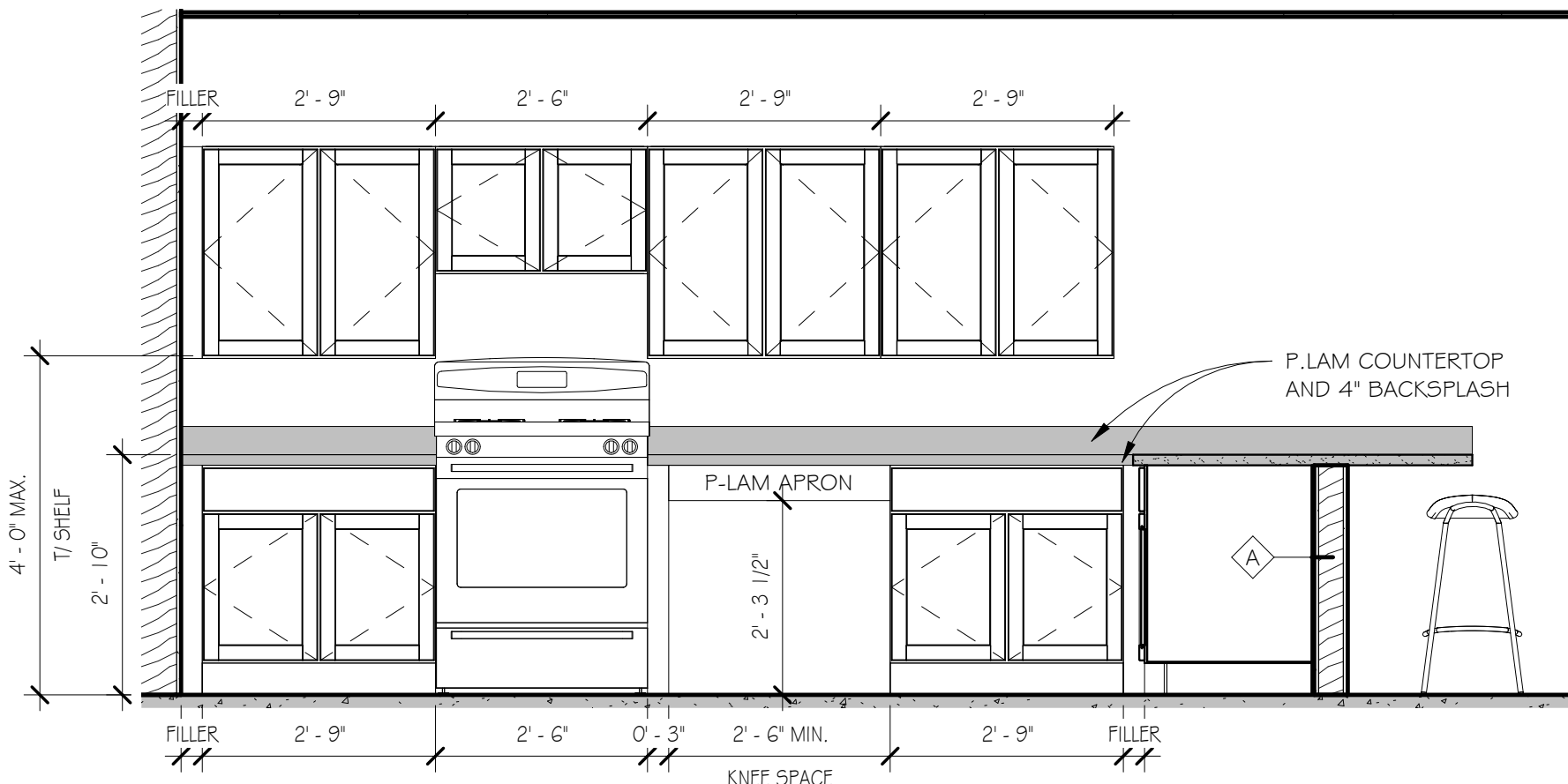
Drawing No.
A302



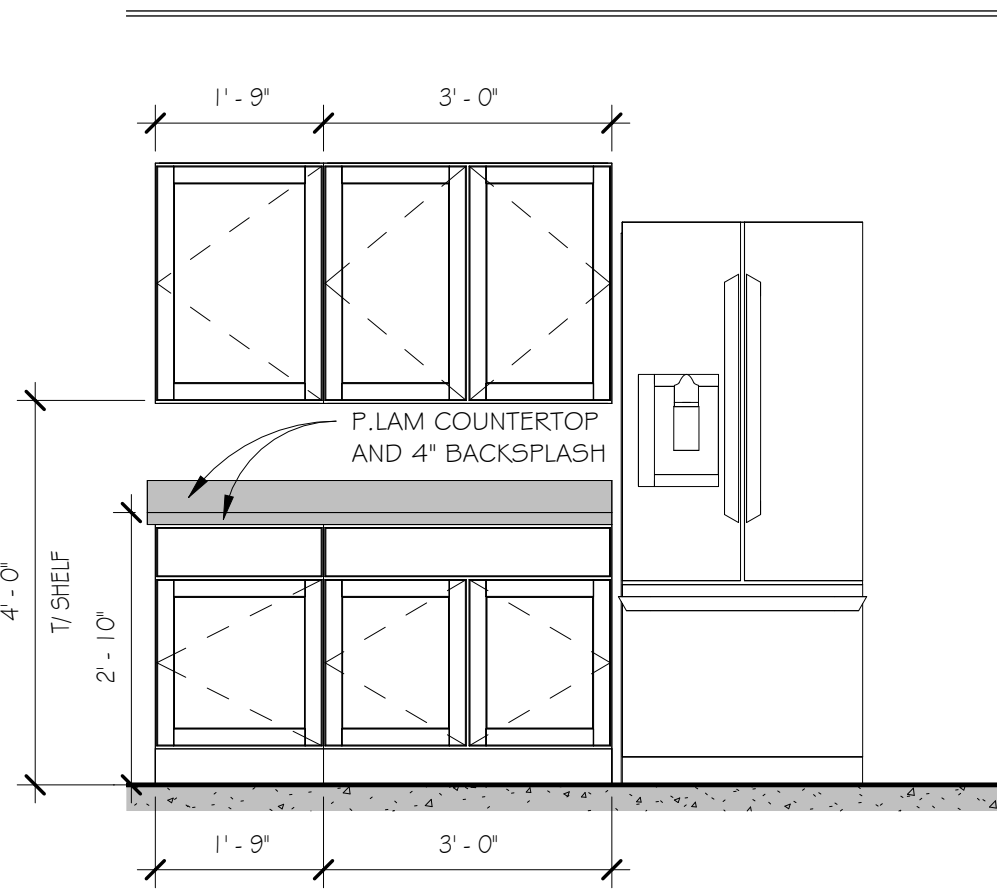
1 ENLARGED FLOOR PLAN - ONE BEDROOM ACCESSIBLE UNIT
1/4" = 1'-0"



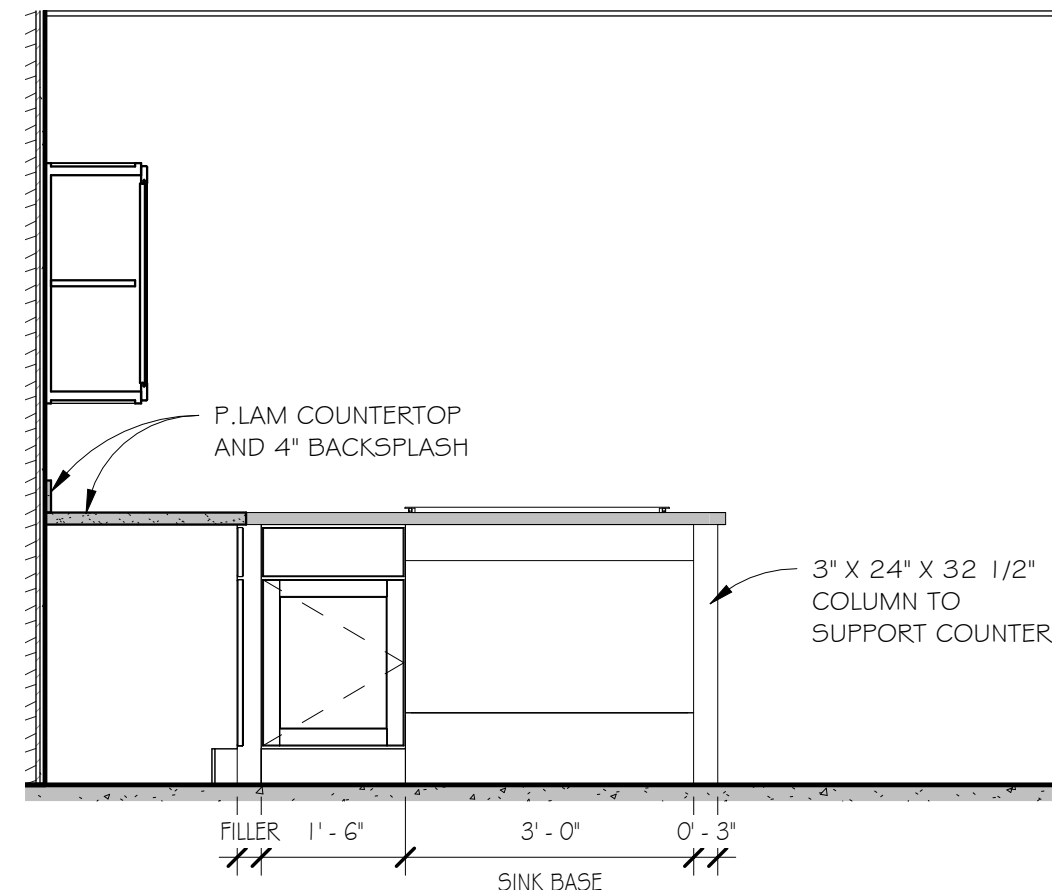
2 ENLARGED KITCHEN PLAN
1/2" = 1'-0"



4 KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"



5 KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"



6 KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"

DOOR SCHEDULE - ONE BEDROOM ACCESSIBLE UNIT

DOOR #	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	FIRE RATING	ELEV.	HW SET	COMMENTS
FIRST FLOOR								
D01	3'-0"	6'-9 1/2"				A		
D02	3'-0"	6'-9 1/2"				B		
D03	3'-0"	6'-8"	Wood	Hollow Metal		C		
D04	3'-0"	6'-8"	Wood	Hollow Metal		C		
D05	3'-0"	6'-8"	Wood	Wood		E		
D06	3'-0"	6'-8"	Wood	Hollow Metal		C		
D07	5'-0"	6'-8"	Wood	Wood		D		

FINISH SCHEDULE -ONE BEDROOM ACCESSIBLE UNIT

RM#	ROOM NAME	FINISHES							COMMENTS
		FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	
FIRST FLOOR									
001	LIVING ROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
002	KITCHEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
003	HALL	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
004	MECH.	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
005	BATH	LVT	RB	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
006	LINEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
007	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
008	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	

FINISH SCHEDULE NOTES:

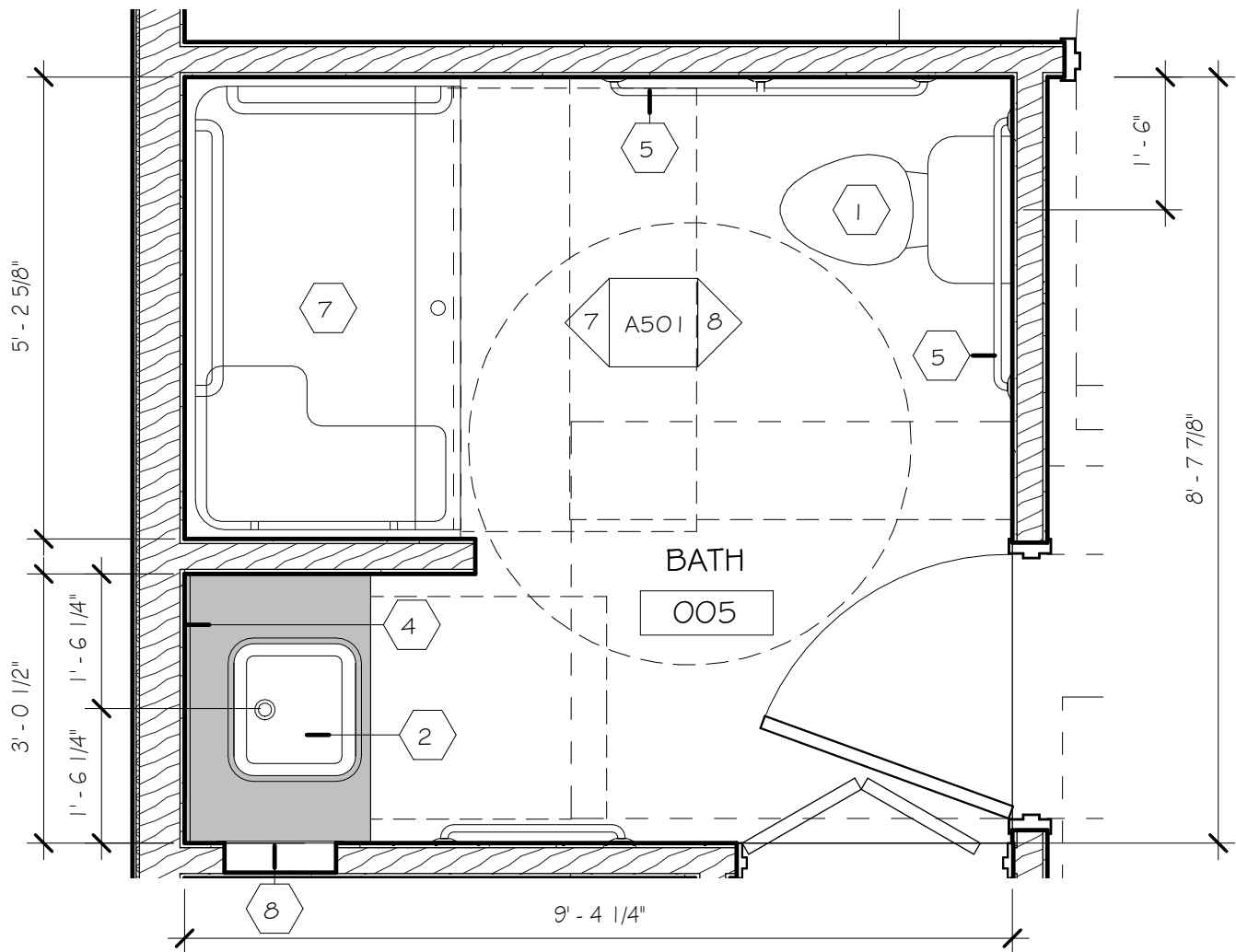
- G.C. SHALL PROVIDE NEW CORNER GUARDS AT ALL OUTSIDE CORNERS. CORNER GUARDS SHALL BE C5 ACROVYN MODEL 55M-20AN OR EQUAL AS APPROVED BY WCHA. CORNER GUARDS SHALL HAVE 2" LEGS AND 1/4" RADIUS EDGE. CORNER GUARDS SHALL EXTEND ENTIRE HEIGHT OF WALL. (ADMIN SUITE)
- PAINT ALL NEW/EXISTING GDW; TYPICAL NOTE
- PROVIDE 1'6" DEEP VINYL CLAD WIRE SHELVING SYSTEM WITH INTEGRAL CLOTHING ROD AT 12" AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; MOUNT SHELF AT 48" AFF. (SEE 4/A507)
- ENTEND NEW FLOORING UNDER CABINETS; TYPICAL NOTE
- PROVIDE VINYL CLAD WIRE SHELVING SYSTEM AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; PROVIDE 3 SHELVES PER CLOSET. (SEE 4/A507)
- GC SHALL PREPARE ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FLOORING. FLOOR PREPARATION SHALL INCLUDE SKIN COATING EXISTING SURFACES TO MEET NEW FLOORING MANUFACTURER'S REQUIREMENTS; NO EXCEPTIONS; TYPICAL NOTE
- LVT SHALL BE GLUED DOWN (FULL SPREAD) WITH PRESSURE RELEASE ADHESIVE AS RECOMMENDED BY FLOORING MANUFACTURER; TYPICAL NOTE

FINISH SCHEDULE KEY:

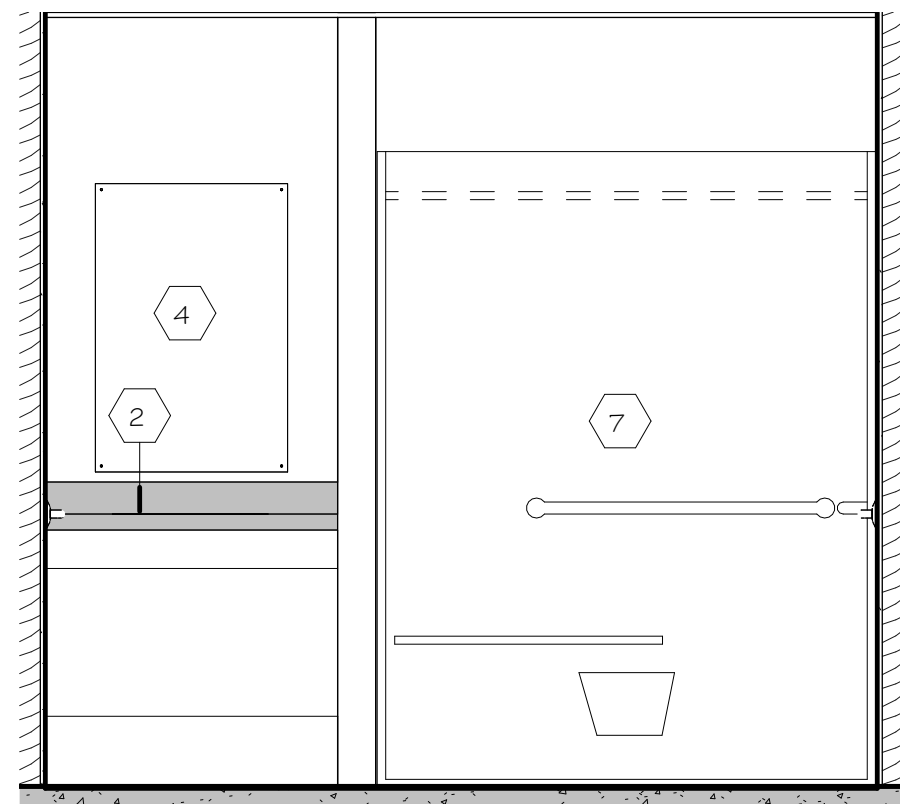
- LVT: LUXURY VINYL TILE - LOOSE LAY PLANK AS MANUFACTURED BY SOUTHWIND; OR APPROVED EQUAL
- CT: CERAMIC TILE (FLOOR) - ATTACHE 12" X 24" AS MANUFACTURED BY DALTILE; OR APPROVED EQUAL
- WD: WOOD BASE - 3 1/2" X 3/4" W/ BULLNOSE TOE AND 1/4" ROUND SHOE; PAINT.
- RB: RUBBER BASE (6") - PINNACLE PLUS AS MANUFACTURED BY ROPPE; OR APPROVED EQUAL
- GDW: GYPSUM DRYWALL
- PT: PAINT

KITCHEN NOTES (THIS SHEET ONLY):

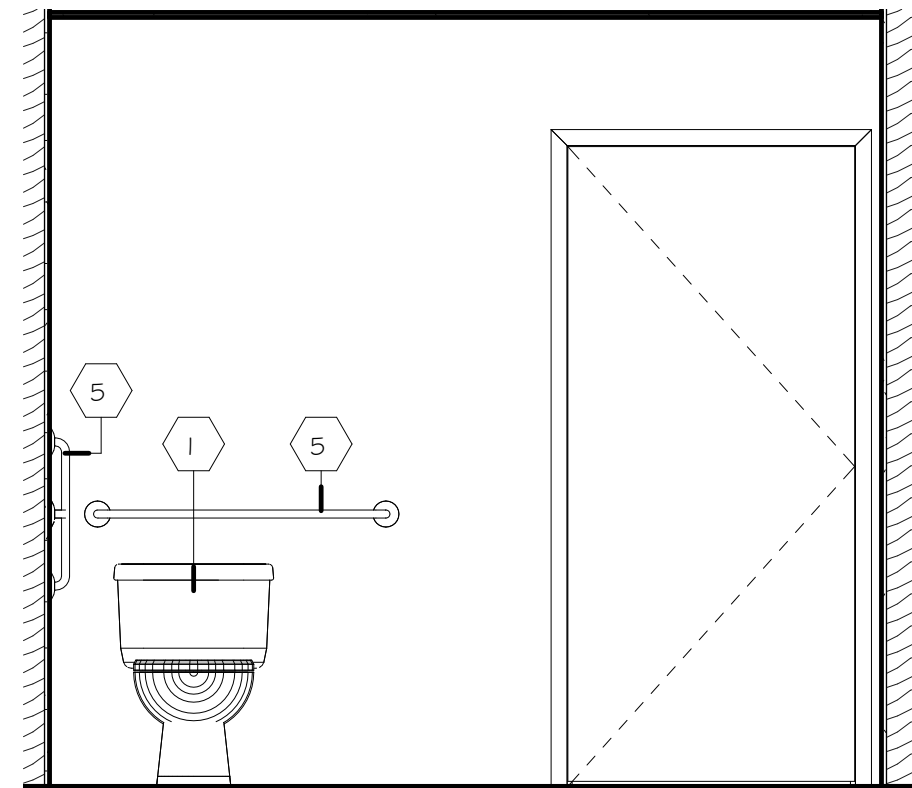
- ALL DRAWER UNITS SHALL BE EASY GLIDE FULL EXTENSION SLIDES WITH BUILT-IN STOPS.
- PROVIDE SLIDING TRAYS WITH EASY GLIDE FULL EXTENSION SLIDES WITH BUILT IN STOPS.
- PROVIDE BASIN GUARD AT ALL ACCESSIBLE SINK LOCATIONS.
- PROVIDE PLASTIC LAMINATE COUNTERTOPS W/ 4" BACKSPLASH. TOP OF COUNTER SHALL BE 33 1/2" AFF. PROVIDE FULL WRAP OF PLASTIC LAMINATE AT NOSING - EXPOSED UNDERSIDE OF OVERHANG.
- MOUNT WALL CABINETS 48" AFF TO TOP OF SURFACE OF BOTTOM OF CONSTRUCTION.
- ALL BASE CABINETS ARE 24" DEEP UNLESS NOTED OTHERWISE. ALL WALL CABINETS ARE 12" DEEP UNLESS NOTED OTHERWISE.
- AT ACCESSIBLE UNITS; CASEWORK CONSTRUCTION & INSTALLATION SHALL COMPLY WITH ADA AND UFAS.
- ALL CASEWORK TOE KICKS SHALL BE FINISHED 9" HIGH WITH MATCHING WOOD SKIN; TYP.
- KRAFTMAID PASSPORT SERIES IS THE BASIS FOR DESIGN FOR KITCHEN CABINETS.
- PROVIDE VALENCIA EDGE (NO LAMINATE) AT ALL BACKSPLASH AND COUNTERTOP EDGES.



3 ENLARGED BATHROOM PLAN
1/2" = 1'-0"



7 BATHROOM ELEVATION
1/2" = 1'-0"



8 BATHROOM ELEVATION
1/2" = 1'-0"

Dwg. Revisions:

Revision Number	Revision Date

SEAL

CANZIAN/JOHNSTON & ASSOCIATES, LLC.

CANZIAN / JOHNSTON & ASSOCIATES, LLC
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PRINCIPALS: Arlon M. Canzian, R.A., Dan Masick, R.A., Heather Wertheimer



CHURCH VIEW COMMONS

MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA

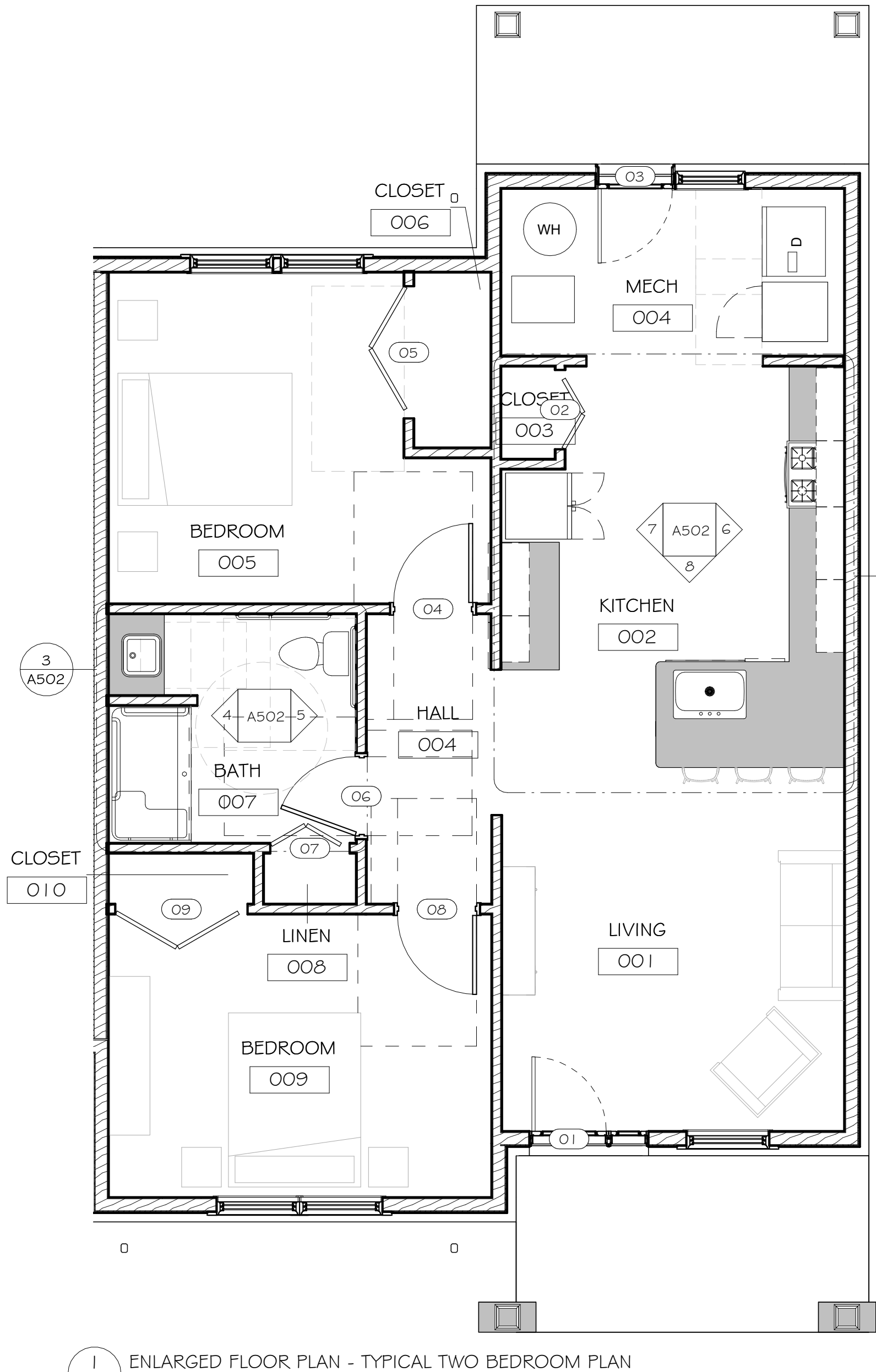
WESTMORELAND NON-PROFIT HOUSING CORPORATION

TYPICAL ONE BEDROOM ACCESSIBLE UNIT

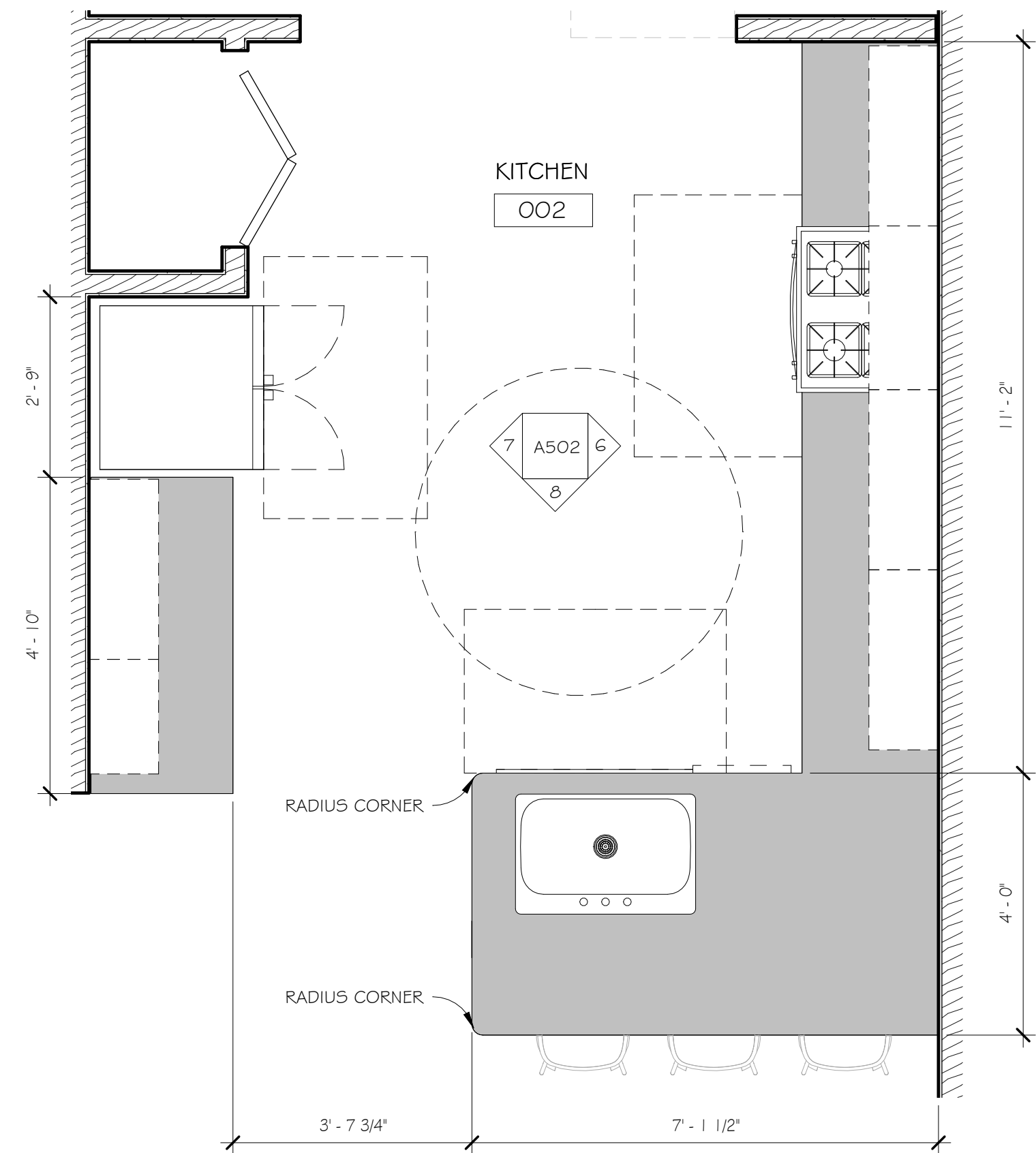
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Date: 11/23/2021
Drawn By: Author
Checked By: Checker
Project No.: 2141

File No.:

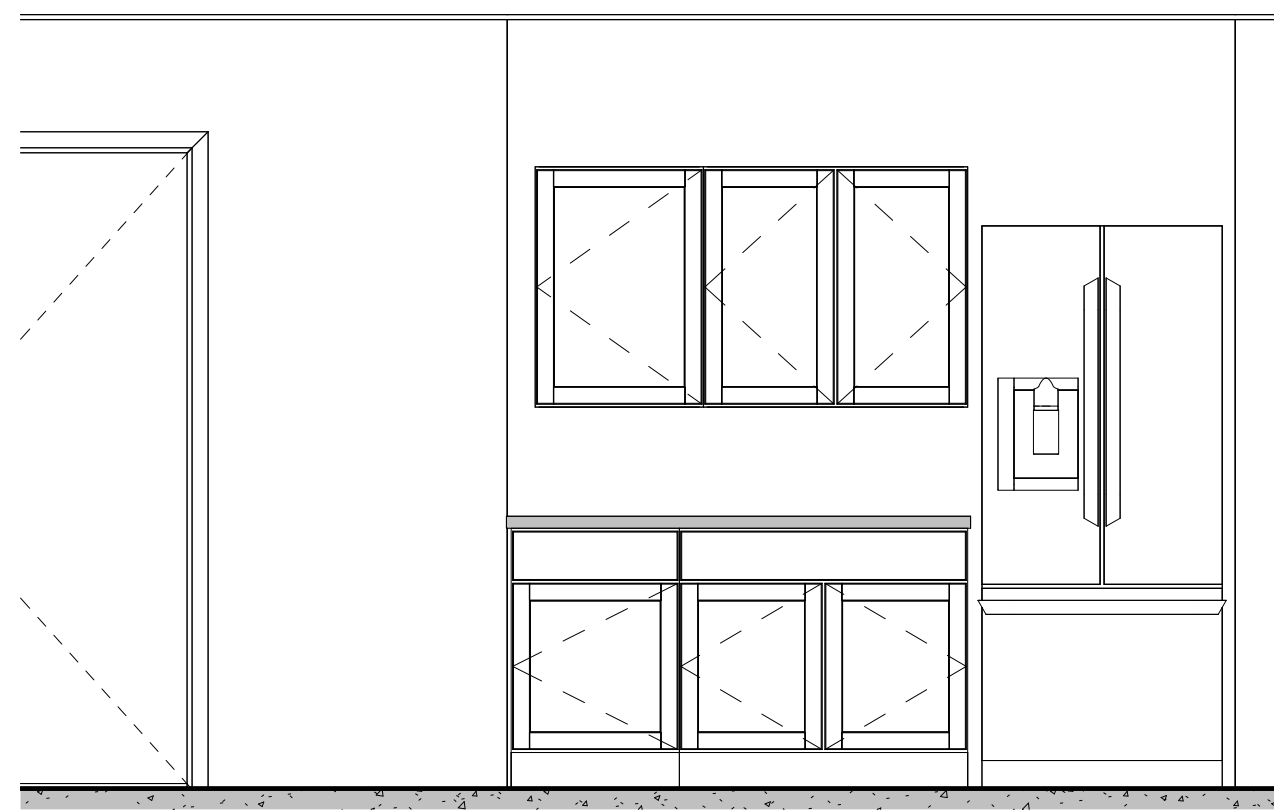
Drawing No.
A501



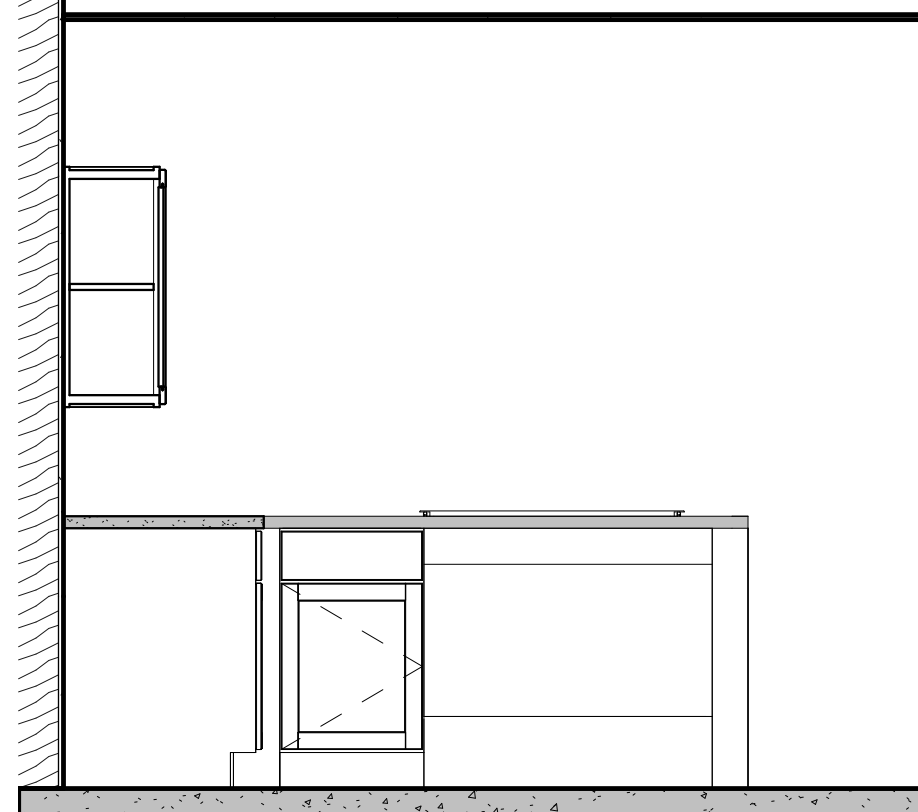
1
A502
ENLARGED FLOOR PLAN - TYPICAL TWO BEDROOM PLAN
1/4" = 1'-0"



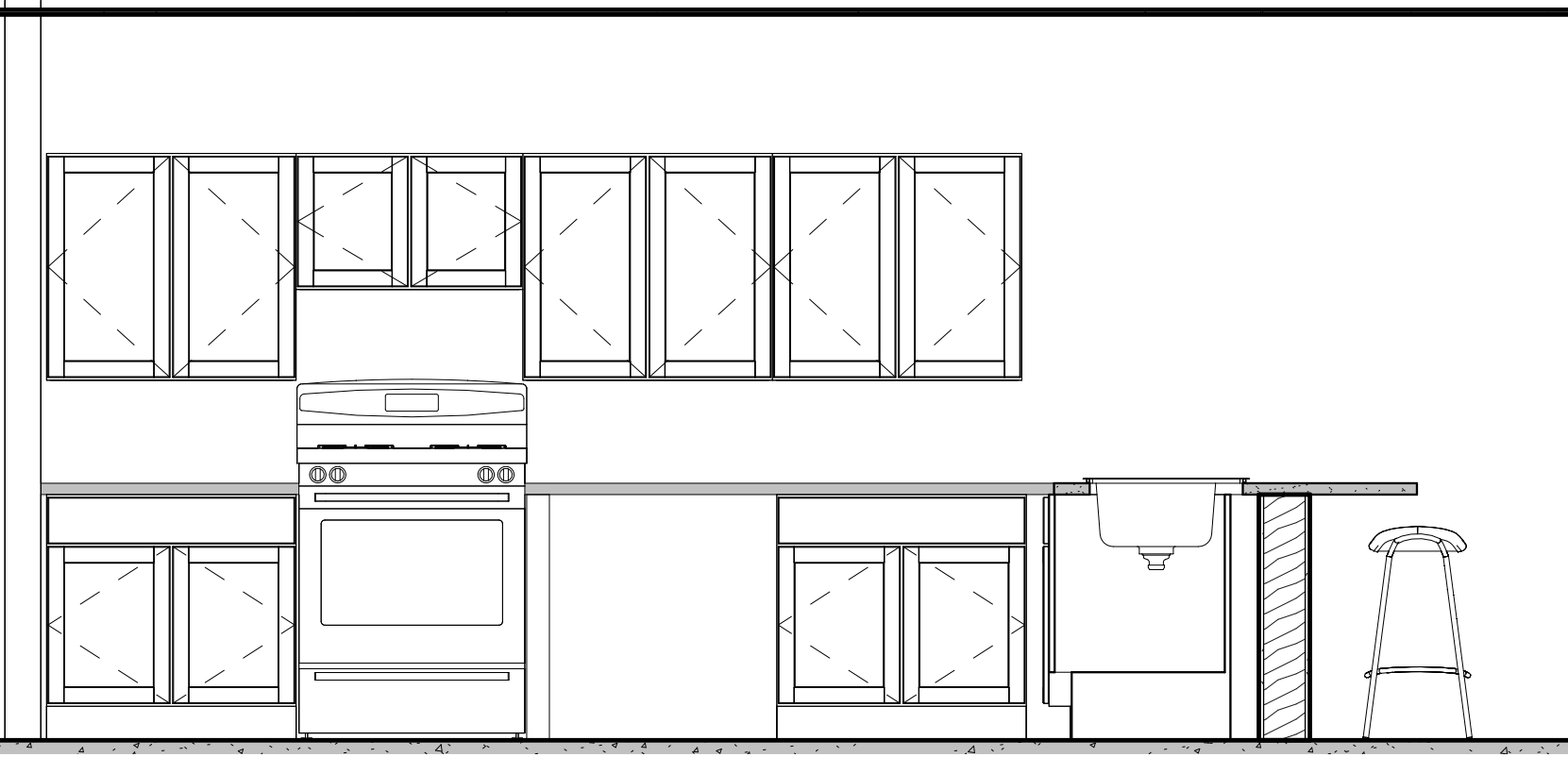
2
A502
ENLARGED KITCHEN PLAN
1/2" = 1'-0"



7
A502
KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"



8
A502
KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"



6
A502
KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"

KITCHEN NOTES (THIS SHEET ONLY):

1. ALL DRAWER UNITS SHALL BE EASY GLIDE FULL EXTENSION SLIDES WITH BUILT-IN STOPS.
2. PROVIDE SLIDING TRAYS WITH EASY GLIDE FULL EXTENSION SLIDES WITH BUILT IN STOPS.
3. PROVIDE BASIN GUARD AT ALL ACCESSIBLE SINK LOCATIONS.
4. PROVIDE PLASTIC LAMINATE COUNTERTOPS W/ 4" BACKSPLASH. TOP OF COUNTER SHALL BE 33 1/2" AFF. PROVIDE FULL WRAP OF PLASTIC LAMINATE AT NOSING - EXPOSED UNDERSIDE OF OVERHANG.
5. MOUNT WALL CABINETS 48" AFF TO TOP OF SURFACE OF BOTTOM OF CONSTRUCTION.
6. ALL BASE CABINETS ARE 24" DEEP UNLESS NOTED OTHERWISE. ALL WALL CABINETS ARE 12" DEEP UNLESS NOTED OTHERWISE.
7. AT ACCESSIBLE UNITS; CASEWORK CONSTRUCTION & INSTALLATION SHALL COMPLY WITH ADA AND UFAS.
8. ALL CASEWORK TOE KICKS SHALL BE FINISHED 9" HIGH WITH MATCHING WOOD SKIN; TYP.
9. KRAFTMAID PASSPORT SERIES IS THE BASIS FOR DESIGN FOR KITCHEN CABINETS.
10. PROVIDE VALENCIA EDGE (NO LAMINATE) AT ALL BACKSPLASH AND COUNTERTOP EDGES.

DOOR SCHEDULE - TWO BEDROOM ACCESSIBLE UNIT

DOOR #	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	FIRE RATING	ELEV.	HW SET	COMMENTS
FIRST FLOOR								
01	3' - 0"	6' - 9 1/2"				B		
02	3' - 0"	6' - 8"	Hollow Metal	None		BB		
03	3' - 0"	6' - 9 1/2"				B		
04	3' - 0"	6' - 8"	Wood	Hollow Metal		C		
05	5' - 0"	6' - 8"	Hollow Metal	None		DD		
06	3' - 0"	6' - 8"	Wood	Hollow Metal		C		
07	3' - 0"	6' - 8"	Hollow Metal	None		BB		
08	3' - 0"	6' - 8"	Wood	Hollow Metal		C		
09	5' - 0"	6' - 8"	Hollow Metal	None		DD		

BATHROOM NOTES	
Key Value	Keynote Text
1	ADA COMPLIANT WATER CLOSET; SEE SCHEDULE
2	ADA COMPLIANT LAVATORY AND FAUCET; COORDINATE W/ PLUMBING DRAWINGS.
4	MIRROR, 18x36" WITH METAL RIM; SEE MOUNTING SCHEDULE
5	GRAB BARS; SEE MOUNTING SCHEDULE
7	ADA COMPLIANT SHOWER UNIT AND CONTINUOUS GRAB BAR, BY G.C.; FITTINGS BY P.C.
8	RECESSED MEDICINE CABINET 18 x 36
60.3	CASEWORK.

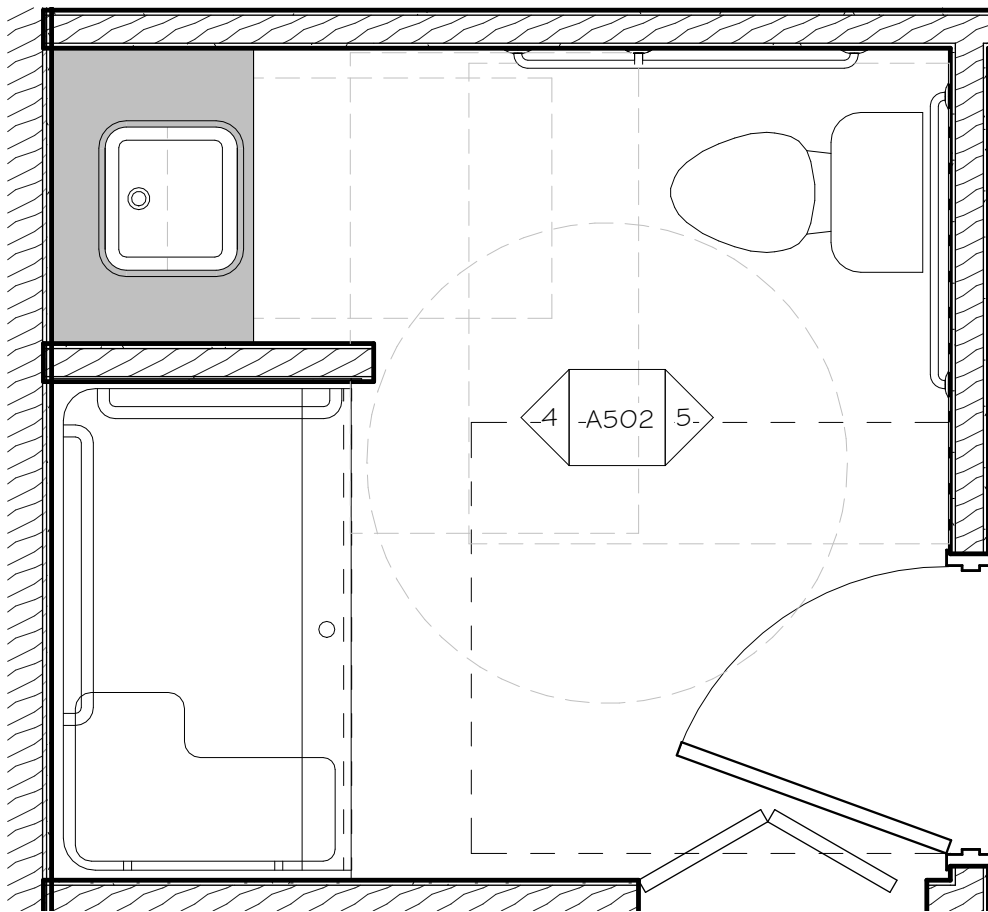
FINISH SCHEDULE -TWO BEDROOM ACCESSIBLE UNIT									
RM#	ROOM NAME	FINISHES							COMMENTS
		FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	
FIRST FLOOR									
001	LIVING	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
002	KITCHEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
003	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
004	MECH	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
004	HALL	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
005	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
006	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
007	BATH	LVT	RB	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
008	LINEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
009	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
010	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	

FINISH SCHEDULE NOTES:

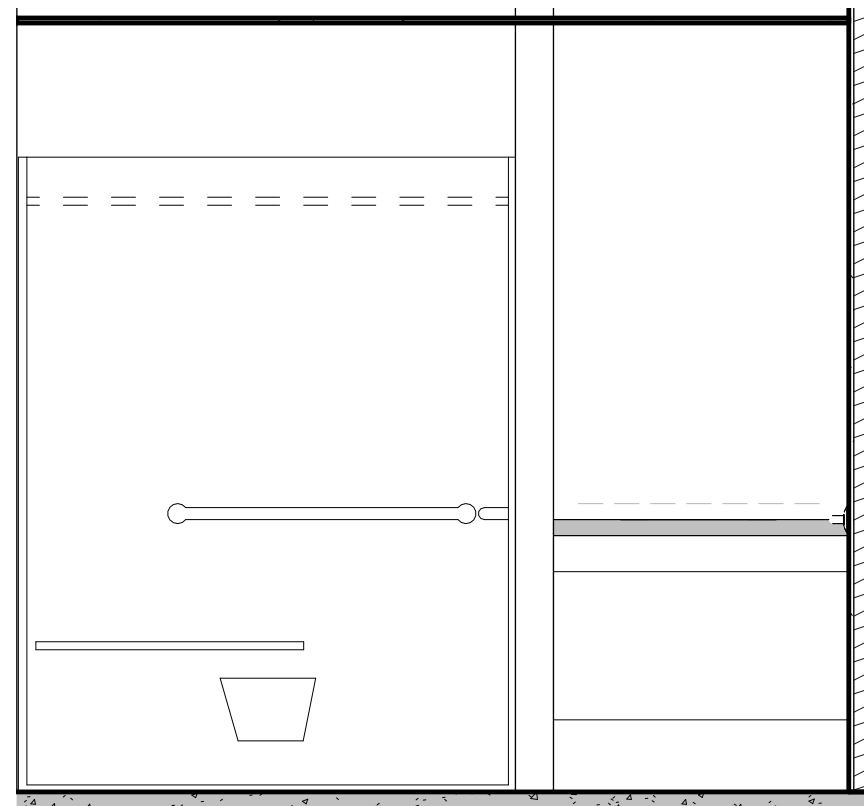
1. G.C. SHALL PROVIDE NEW CORNER GUARDS AT ALL OUTSIDE CORNERS. CORNER GUARDS SHALL BE CS ACROVYN MODEL 55M-20AN OR EQUAL AS APPROVED BY WCHA. CORNER GUARDS SHALL HAVE 2" LEGS AND 1/4" RADIUS EDGE. CORNER GUARDS SHALL EXTEND ENTIRE HEIGHT OF WALL. (ADMIN SUITE)
2. PAINT ALL NEW/EXISTING GDW; TYPICAL NOTE
3. PROVIDE 16" DEEP VINYL CLAD WIRE SHELVING SYSTEM WITH INTEGRAL CLOTHING ROD AT 12" AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; MOUNT SHELF AT 48" AFF. (SEE 4/A507)
4. EXTEND NEW FLOORING UNDER CABINETS; TYPICAL NOTE
5. PROVIDE VINYL CLAD WIRE SHELVING SYSTEM AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; PROVIDE 3 SHELVES PER CLOSET. (SEE 4/A507)
6. GC SHALL PREPARE ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FLOORING. FLOOR PREPARATION SHALL INCLUDE SKIN COATING EXISTING SURFACES TO MEET NEW FLOORING MANUFACTURER'S REQUIREMENTS; NO EXCEPTIONS; TYPICAL NOTE
7. LVT SHALL BE GLUED DOWN (FULL SPREAD) WITH PRESSURE RELEASE ADHESIVE AS RECOMMENDED BY FLOORING MANUFACTURER; TYPICAL NOTE

FINISH SCHEDULE KEY:

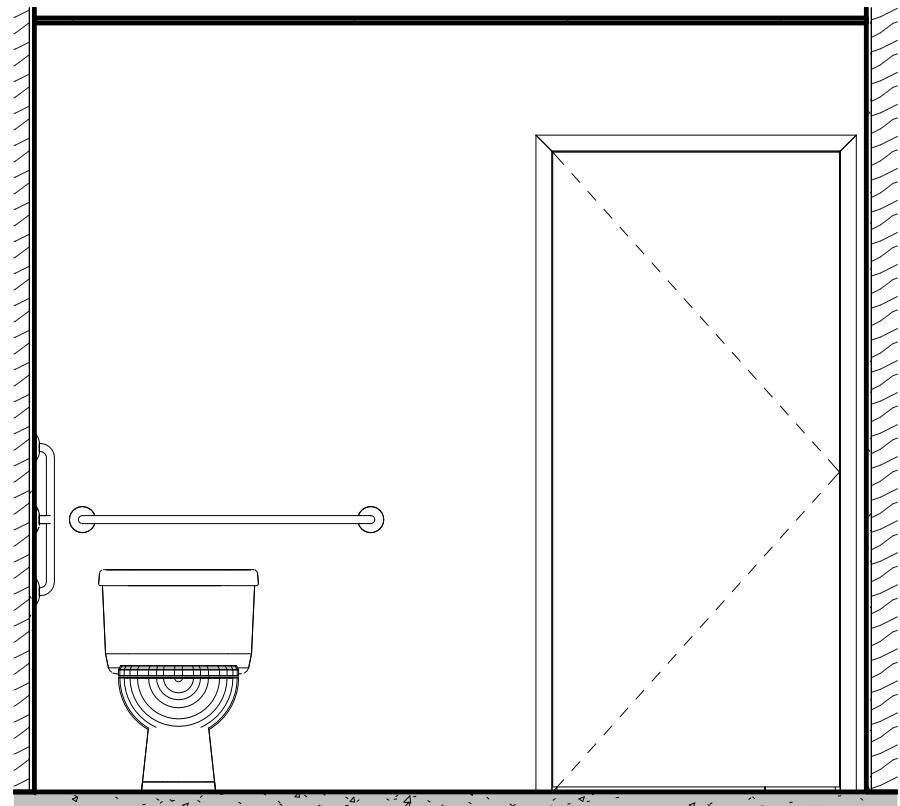
- LVT: LUXURY VINYL TILE - LOOSE LAY PLANK AS MANUFACTURED BY SOUTHWIND; OR APPROVED EQUAL
- CT: CERAMIC TILE (FLOOR) - ATTACHE 12" X 24" AS MANUFACTURED BY DALITILE; OR APPROVED EQUAL
- WD: WOOD BASE - 3 1/2" X 3/4" W/ BULLNOSE TOE AND 1/4" ROUND SHOE; PAINT.
- RB: RUBBER BASE (6") - PINNACLE PLUS AS MANUFACTURED BY ROPPE; OR APPROVED EQUAL
- GDW: GYPSUM DRYWALL
- PT: PAINT



3
A502
ENLARGED BATHROOM PLAN
1/2" = 1'-0"



4
A502
BATHROOM ELEVATION
1/2" = 1'-0"



5
A502
BATHROOM ELEVATION
1/2" = 1'-0"

Dwg. Revisions:

Revision Number	Revision Date

SEAL

CANZIAN/JOHNSTON & ASSOCIATES, LLC.

CANZIAN / JOHNSTON & ASSOCIATES, LLC
A R C H I T E C T S
301 MARKET STREET, NEW BRUNSWICK, NEW JERSEY 08901 • www.canzian.com • P: 732.391.0001 • F: 732.391.0002
PRINCIPALS: Arion M. Canzian, R.A., Dan Mackie, R.A., Heather Wenkster



CHURCH VIEW COMMONS

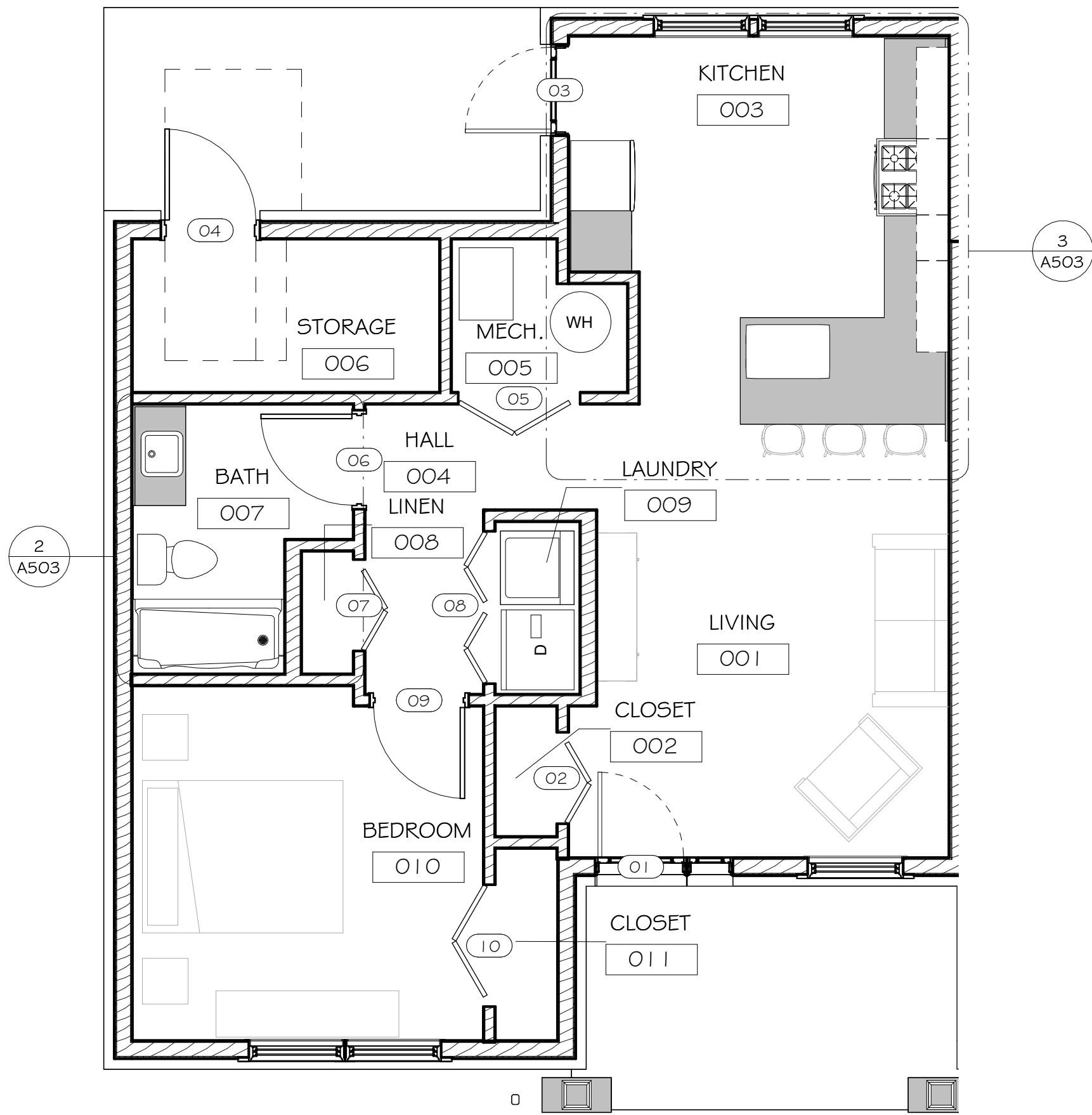
MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA

WESTMORELAND NON-PROFIT HOUSING CORPORATION

TYPICAL TWO BEDROOM ACCESSIBLE UNIT

Scale:	As Indicated
Date:	11/23/2021
Drawn By:	Author
Checked By:	Checker
Project No.:	2141
File No.:	

Drawing No.
A502



1 ENLARGED FLOOR PLAN - TYPICAL ONE BEDROOM UNIT
1/4" = 1'-0"

DOOR SCHEDULE - ONE BEDROOM UNIT

DOOR #	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	FIRE RATING	ELEV.	HW SET	COMMENTS
FIRST FLOOR								
01	3' - 0"	6' - 9 1/2"				B		
02	3' - 0"	6' - 8"				BB		
03	3' - 0"	6' - 9 1/2"				B		
04	3' - 0"	7' - 0"	Hollow Metal	Hollow Metal		J		
05	4' - 0"	6' - 8"	Hollow Metal	None		CC		
06	3' - 0"	7' - 0"	Wood			H		
07	3' - 0"	6' - 8"	Hollow Metal	None		BB		
08	5' - 0"	6' - 8"	Hollow Metal	None		AA		
09	3' - 0"	7' - 0"	Wood	Hollow Metal		H		
10	4' - 0"	6' - 8"	Hollow Metal	None		CC		

FINISH SCHEDULE - ONE BEDROOM UNIT

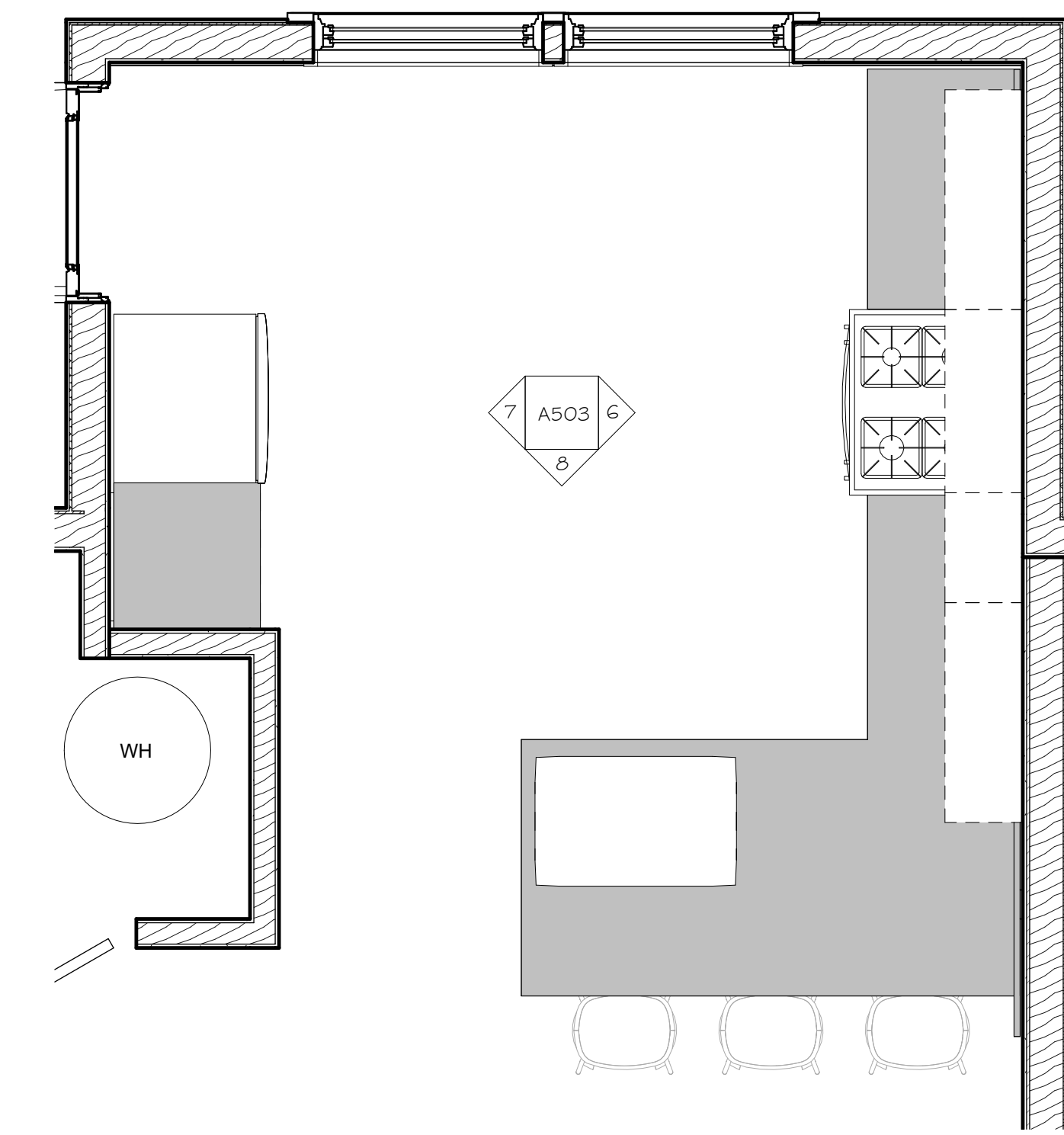
RM#	ROOM NAME	FINISHES							COMMENTS
		FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	
FIRST FLOOR									
001	LIVING	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
002	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
003	KITCHEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
004	HALL	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
005	MECH.	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
006	STORAGE	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
007	BATH	LVT	RB	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
008	LINEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
009	LAUNDRY	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
010	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
011	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	

FINISH SCHEDULE NOTES:

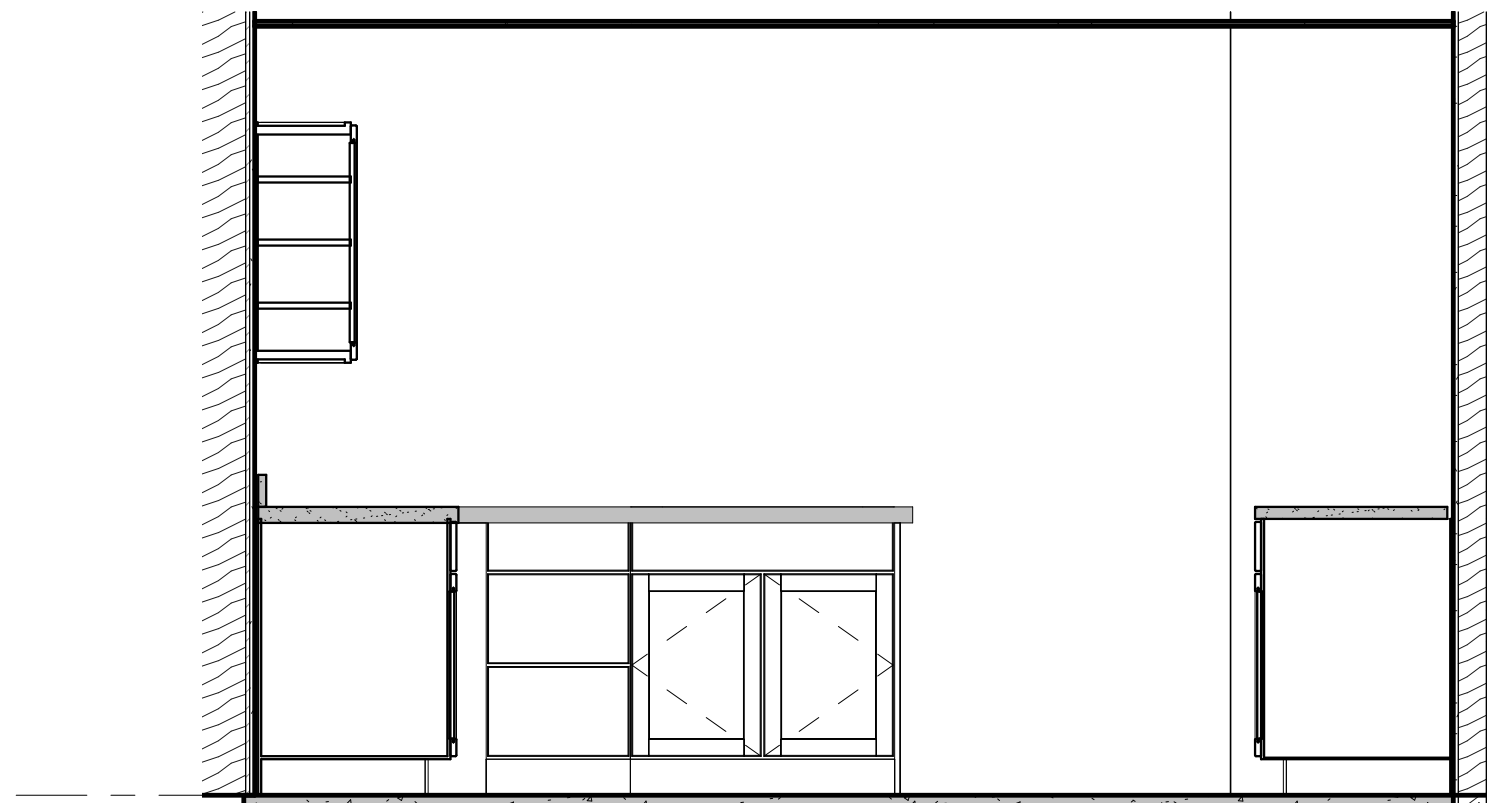
- G.C. SHALL PROVIDE NEW CORNER GUARDS AT ALL OUTSIDE CORNERS. CORNER GUARDS SHALL BE CS ACROVYN MODEL 55M-20AN OR EQUAL AS APPROVED BY WCHA. CORNER GUARDS SHALL HAVE 2" LEGS AND 1/4" RADIUS EDGE. CORNER GUARDS SHALL EXTEND ENTIRE HEIGHT OF WALL. (ADMIN SUITE)
- PAINT ALL NEW/EXISTING GDW; TYPICAL NOTE
- PROVIDE 16" DEEP VINYL CLAD WIRE SHELVING SYSTEM WITH INTEGRAL CLOTHING ROD AT 12" AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; MOUNT SHELF AT 48" AFF. (SEE 4/A507)
- EXTEND NEW FLOORING UNDER CABINETS; TYPICAL NOTE
- PROVIDE VINYL CLAD WIRE SHELVING SYSTEM AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; PROVIDE 3 SHELVES PER CLOSET. (SEE 4/A507)
- GC SHALL PREPARE ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FLOORING. FLOOR PREPARATION SHALL INCLUDE SKIN COATING EXISTING SURFACES TO MEET NEW FLOORING MANUFACTURER'S REQUIREMENTS; NO EXCEPTIONS; TYPICAL NOTE
- LVT SHALL BE GLUED DOWN (FULL SPREAD) WITH PRESSURE RELEASE ADHESIVE AS RECOMMENDED BY FLOORING MANUFACTURER; TYPICAL NOTE

FINISH SCHEDULE KEY:

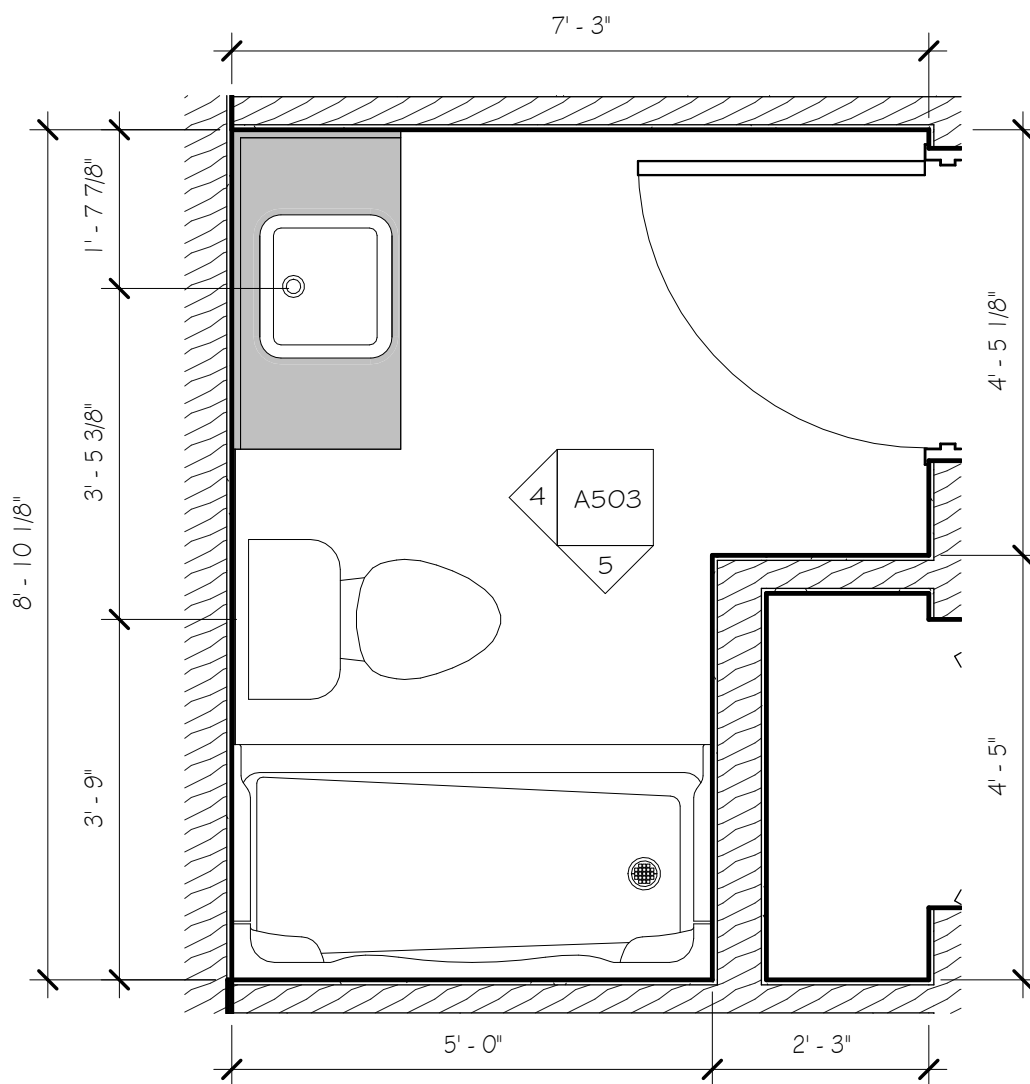
- LVT: LUXURY VINYL TILE - LOOSE LAY PLANK AS MANUFACTURED BY SOUTHWIND; OR APPROVED EQUAL
- CT: CERAMIC TILE (FLOOR) - ATTACHE 12" X 24" AS MANUFACTURED BY DALTILE; OR APPROVED EQUAL
- WD: WOOD BASE - 3 1/2" X 3/4" W/ BULLNOSE TOE AND 1/4" ROUND SHOE; PAINT.
- RB: RUBBER BASE (6") - PINNACLE PLUS AS MANUFACTURED BY ROPPE; OR APPROVED EQUAL
- GDW: GYPSUM DRYWALL
- PT: PAINT



3 ENLARGED KITCHEN PLAN
1/2" = 1'-0"



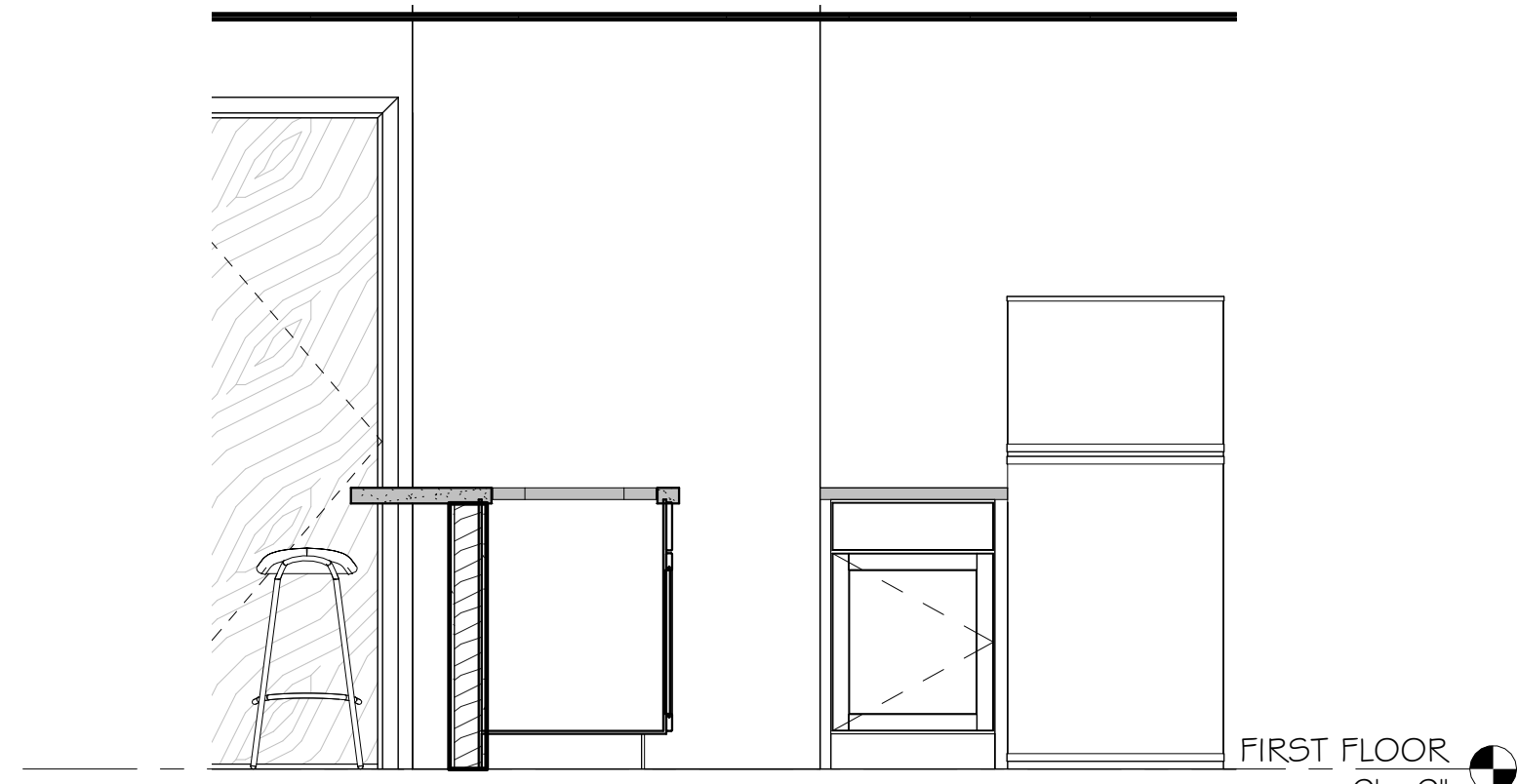
8 KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"



2 ENLARGED BATHROOM PLAN
1/2" = 1'-0"



6 KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"

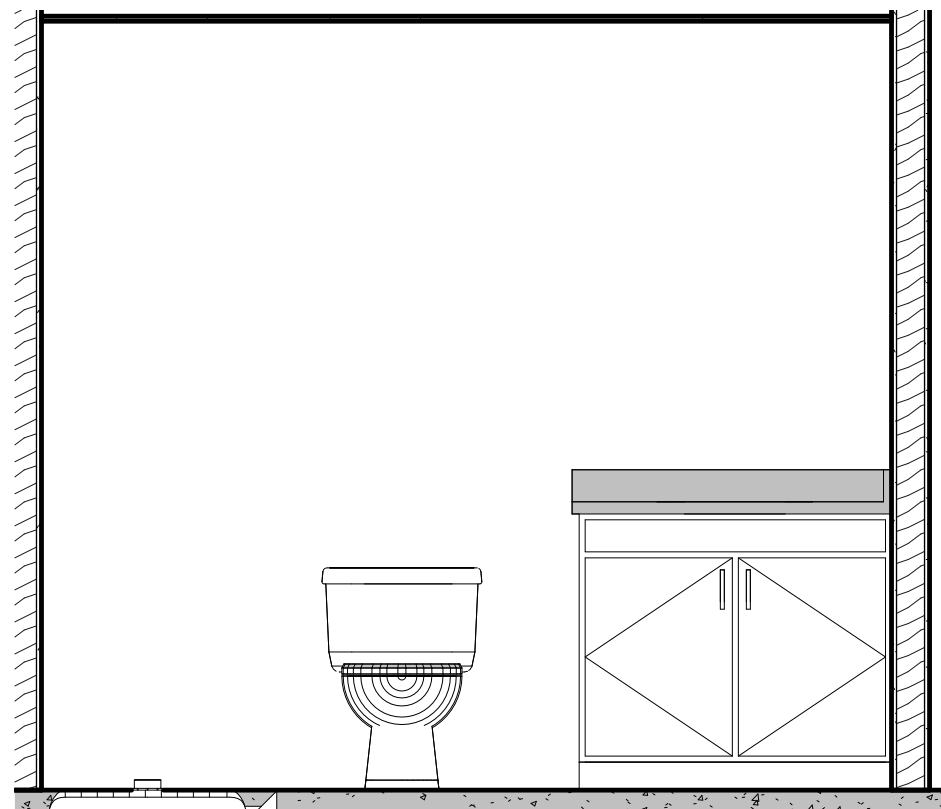


7 KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"

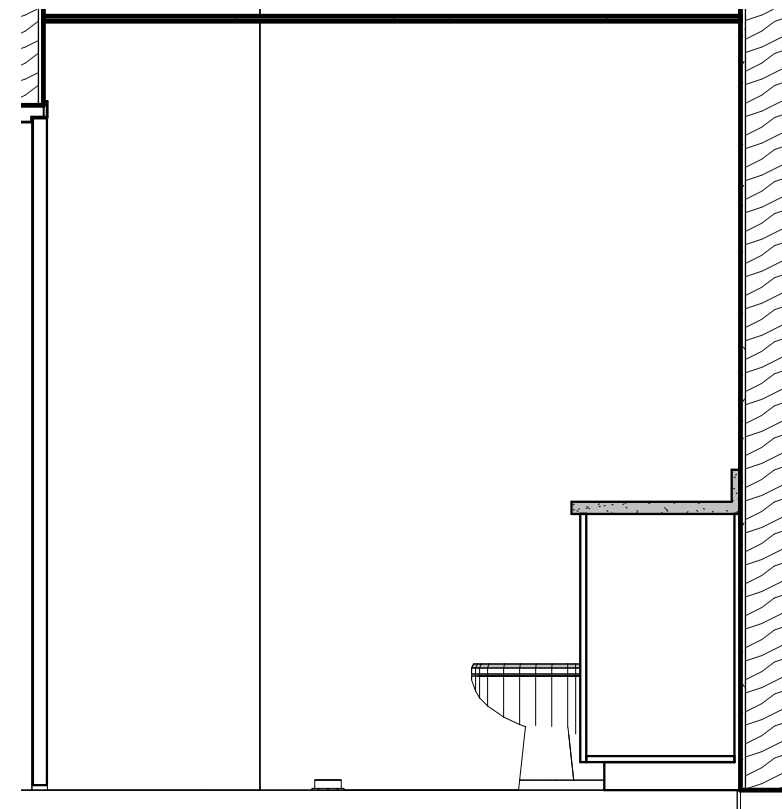
KITCHEN NOTES (THIS SHEET ONLY):

- ALL DRAWER UNITS SHALL BE EASY GLIDE FULL EXTENSION SLIDES WITH BUILT-IN STOPS.
- PROVIDE SLIDING TRAYS WITH EASY GLIDE FULL EXTENSION SLIDES WITH BUILT-IN STOPS.
- PROVIDE PLASTIC LAMINATE COUNTERTOPS W/ 4" BACKSPLASH. TOP OF COUNTER SHALL BE 36" AFF. PROVIDE FULL WRAP OF PLASTIC LAMINATE AT NOSING - EXPOSED UNDERSIDE OF OVERHANG.
- ALL BASE CABINETS ARE 24" DEEP UNLESS NOTED OTHERWISE. ALL WALL CABINETS ARE 12" DEEP UNLESS NOTED OTHERWISE.
- KRAFTMAID PASSPORT SERIES IS THE BASIS FOR DESIGN FOR KITCHEN CABINETS.
- PROVIDE VALENCIA EDGE (NO LAMINATE) AT ALL BACKSPLASH AND COUNTERTOP EDGES.

BATHROOM NOTES	
Key Value	Keynote Text
1	ADA COMPLIANT WATER CLOSET; SEE SCHEDULE
2	ADA COMPLIANT LAVATORY AND FAUCET; COORDINATE w/ PLUMBING DRAWINGS.
4	MIRROR; 10x36" WITH METAL RIM; SEE MOUNTING SCHEDULE
5	GRAB BARS; SEE MOUNTING SCHEDULE
7	ADA COMPLIANT SHOWER UNIT AND CONTINUOUS GRAB BAR, BY G.C.; FITTINGS BY P.C.
8	RECESSIBLE MEDICINE CABINET 18 x 36
GO.3	CASEWORK



4 BATHROOM ELEVATION
1/2" = 1'-0"



5 BATHROOM ELEVATION
1/2" = 1'-0"

Dwg. Revisions:

Revision Number	Revision Date

SEAL

CANZIAN/JOHNSTON & ASSOCIATES, LLC.

CANZIAN / JOHNSTON & ASSOCIATES, LLC
301 MAIN STREET, NEW BRUNSWICK, NEW JERSEY 08901
PRINCIPALS: ARON M. CANZIAN, P.A., DAN MASKE, P.A., HEATHER WICKES



CHURCH VIEW COMMONS

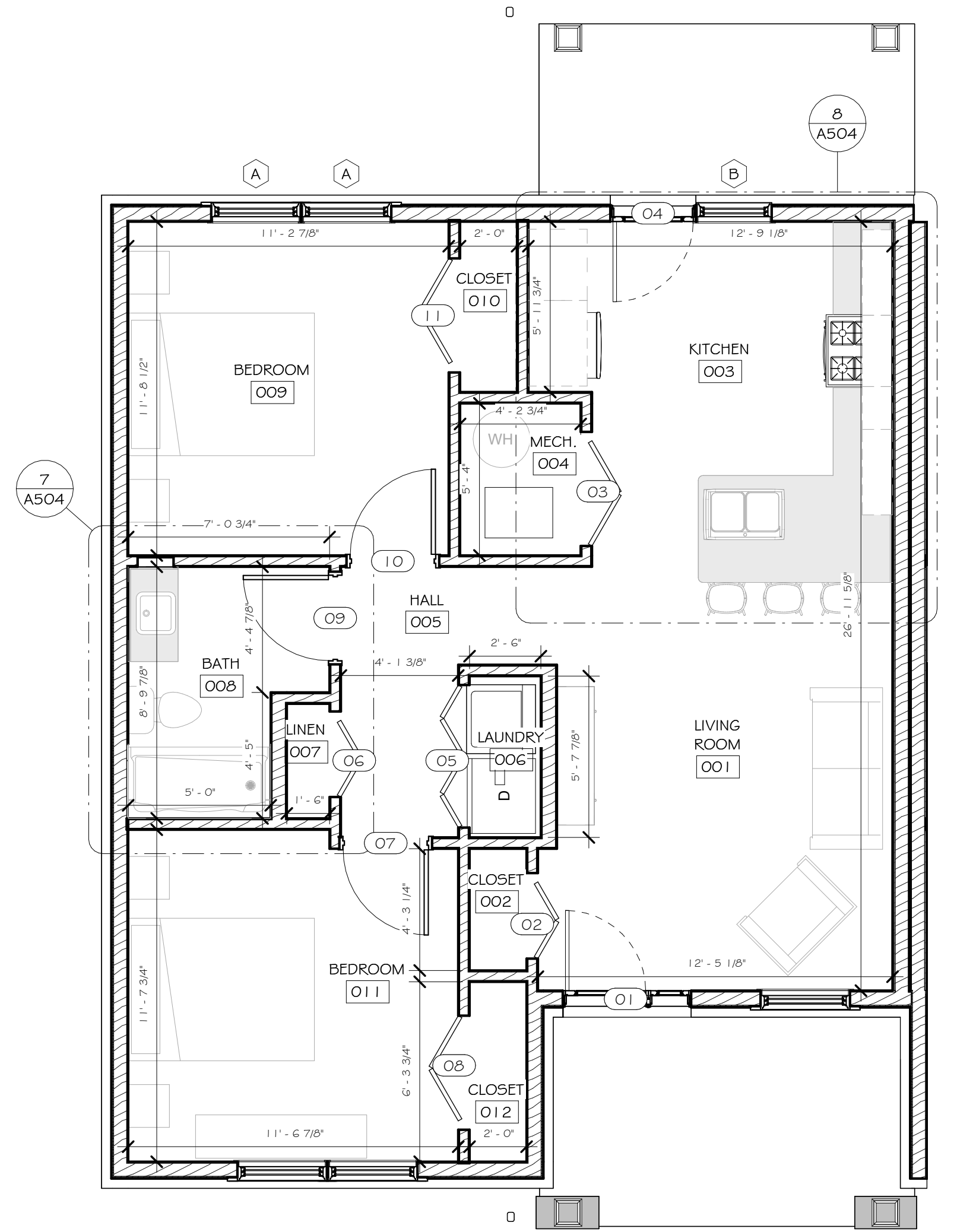
MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA

WESTMORELAND NON-PROFIT HOUSING CORPORATION

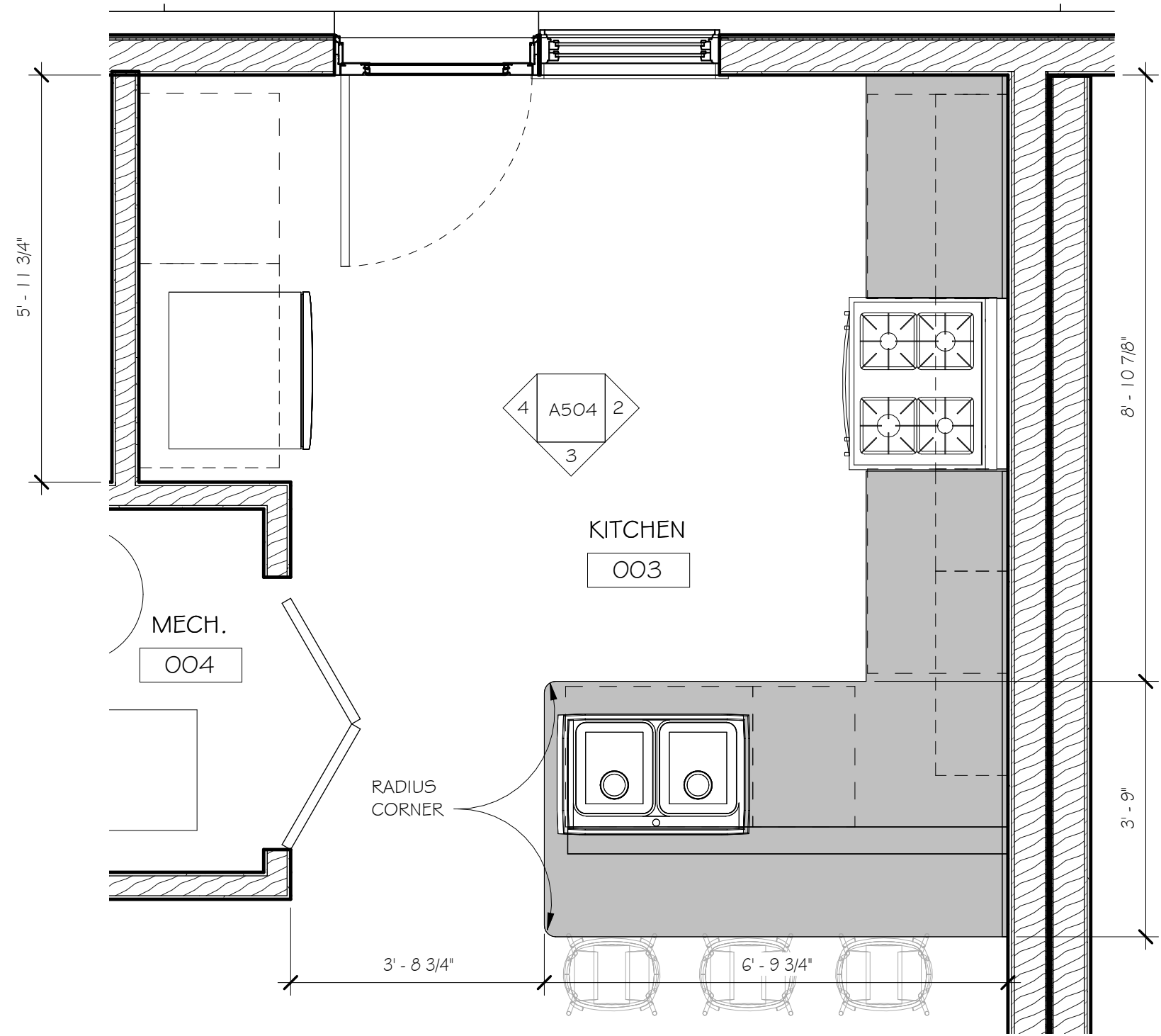
TYPICAL ONE BEDROOM UNIT

Scale: As indicated
Date: 11/23/2021
Drawn By: sd
Checked By: Checker
Project No.: 2141
File No.:

Drawing No.
A503



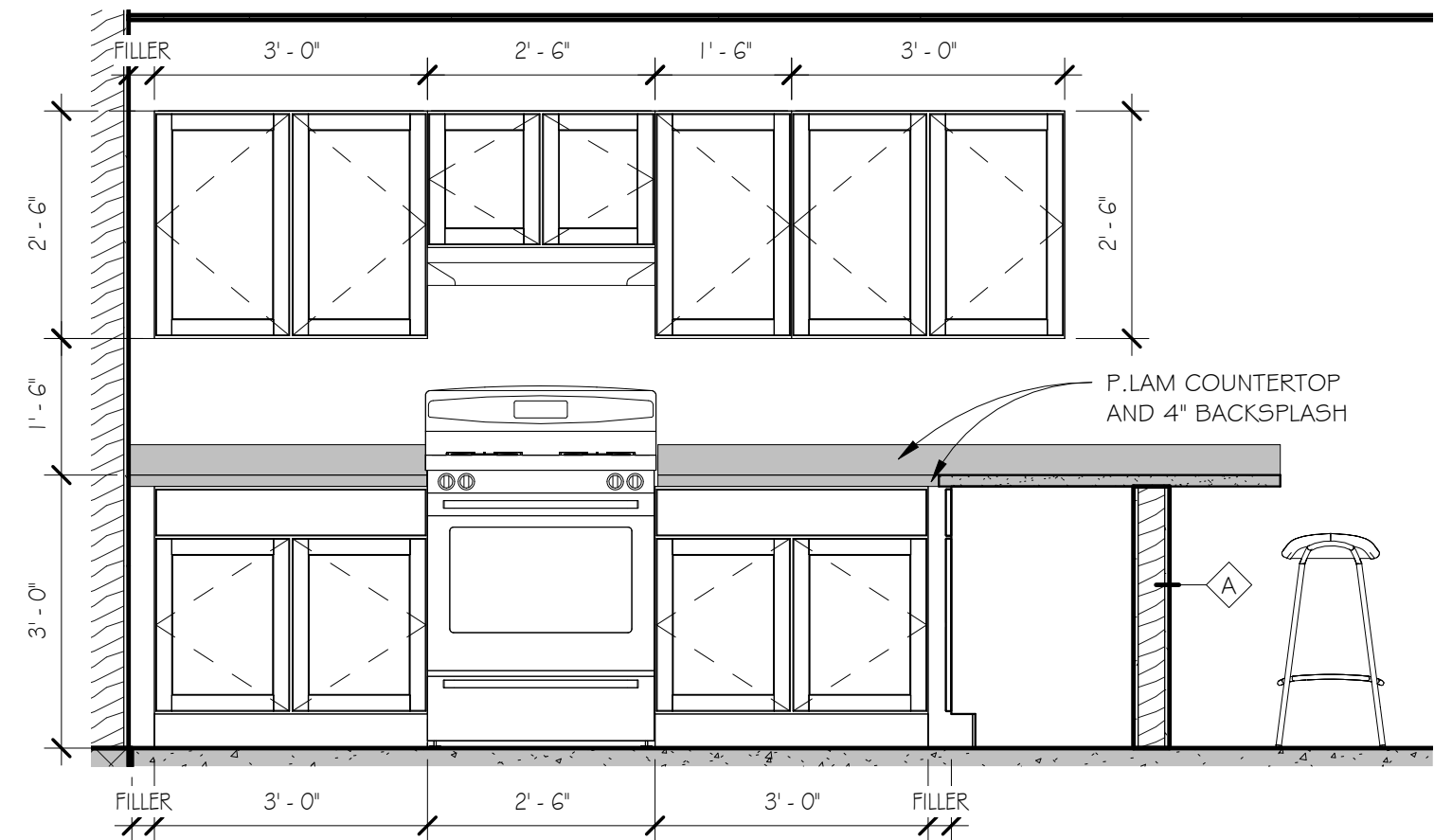
1
A504
TYPICAL TWO-BEDROOM APARTMENT PLAN
1/4" = 1'-0"



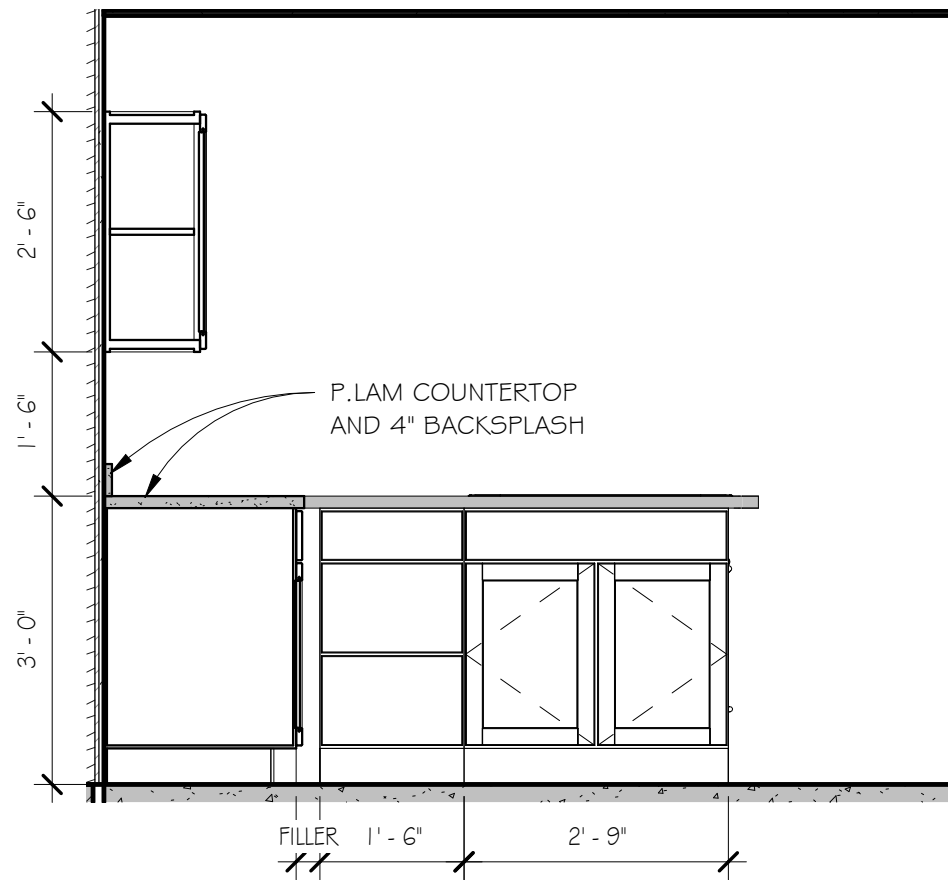
8
A504
ENLARGED KITCHEN PLAN
1/2" = 1'-0"

KITCHEN NOTES (THIS SHEET ONLY):

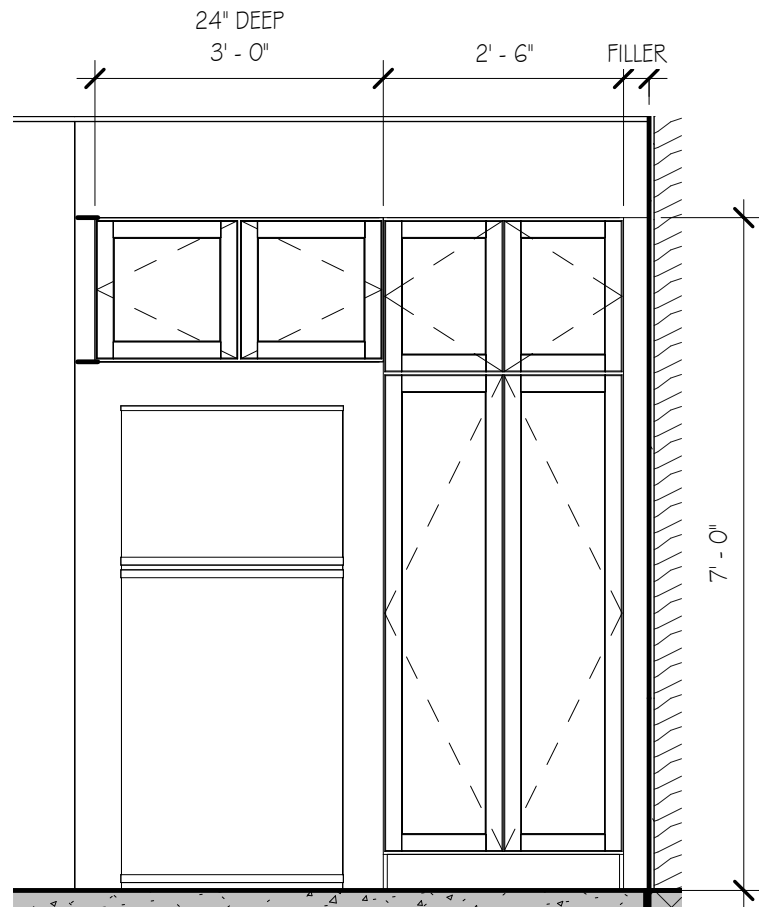
1. ALL DRAWER UNITS SHALL BE EASY GLIDE FULL EXTENSION SLIDES WITH BUILT-IN STOPS.
2. PROVIDE SLIDING TRAYS WITH EASY GLIDE FULL EXTENSION SLIDES WITH BUILT-IN STOPS.
3. PROVIDE PLASTIC LAMINATE COUNTERTOPS W/ 4" BACKSPLASH. TOP OF COUNTER SHALL BE 36" AFF. PROVIDE FULL WRAP OF PLASTIC LAMINATE AT NOSING - EXPOSED UNDERSIDE OF OVERHANG.
4. ALL BASE CABINETS ARE 24" DEEP UNLESS NOTED OTHERWISE. ALL WALL CABINETS ARE 12" DEEP UNLESS NOTED OTHERWISE.
5. KRAFTMAID PASSPORT SERIES IS THE BASIS FOR DESIGN FOR KITCHEN CABINETS.
6. PROVIDE VALENCIA EDGE (NO LAMINATE) AT ALL BACKSPLASH AND COUNTERTOP EDGES.



2
A504
KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"



3
A504
KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"



4
A504
KITCHEN CASEWORK ELEVATION
1/2" = 1'-0"

DOOR SCHEDULE - TWO BEDROOM UNIT									
DOOR #	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	FIRE RATING	ELEV.	HW SET	COMMENTS	
FIRST FLOOR									
01	3' - 0"	6' - 9 1/2"				B			
02	3' - 0"	6' - 8"	Hollow Metal	None		BB			
03	4' - 0"	6' - 8"	Hollow Metal	None		CC			
04	3' - 0"	6' - 9 1/2"				B			
05	5' - 0"	6' - 8"	Hollow Metal	None		AA			
06	3' - 0"	6' - 8"	Hollow Metal	None		BB			
07	3' - 0"	7' - 0"	Wood	Hollow Metal		H			
08	4' - 0"	6' - 8"	Hollow Metal	None		CC			
09	3' - 0"	7' - 0"	Wood	Hollow Metal		H			
10	3' - 0"	7' - 0"	Wood	Hollow Metal		H			
11	4' - 0"	6' - 8"	Hollow Metal	None		CC			

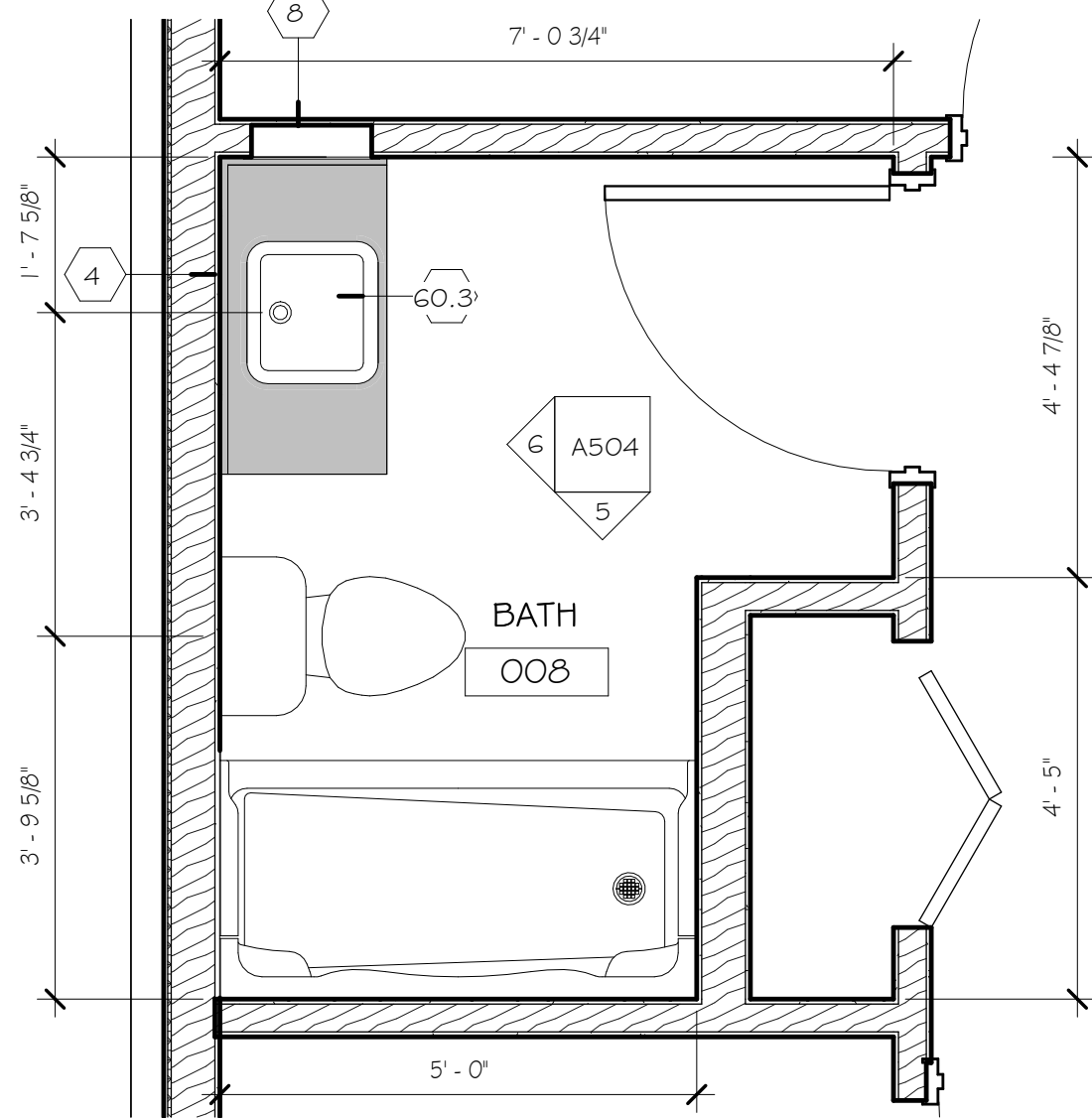
FINISH SCHEDULE - 2 BEDROOM UNIT									
RM#	ROOM NAME	FINISHES							COMMENTS
		FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	
FIRST FLOOR									
001	LIVING ROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
002	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
003	KITCHEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
004	MECH.	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
005	HALL	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
006	LAUNDRY	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
007	LINEN	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
008	BATH	LVT	RB	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
009	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
010	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
011	BEDROOM	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	
012	CLOSET	LVT	WD	GDW/PT	GDW/PT	GDW/PT	GDW/PT	GDW/PT	

FINISH SCHEDULE NOTES:

1. G.C. SHALL PROVIDE NEW CORNER GUARDS AT ALL OUTSIDE CORNERS. CORNER GUARDS SHALL BE CS ACROVYN MODEL 55M-20AN OR EQUAL AS APPROVED BY WCHA. CORNER GUARDS SHALL HAVE 2" LEGS AND 1/4" RADIUS EDGE. CORNER GUARDS SHALL EXTEND ENTIRE HEIGHT OF WALL. (ADMIN SUITE)
2. PAINT ALL NEW/EXISTING GDW; TYPICAL NOTE
3. PROVIDE 16" DEEP VINYL CLAD WIRE SHELVING SYSTEM WITH INTEGRAL CLOTHING ROD AT 12" AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; MOUNT SHELF AT 48" AFF. (SEE 4/A507)
4. ENTEND NEW FLOORING UNDER CABINETS; TYPICAL NOTE
5. PROVIDE VINYL CLAD WIRE SHELVING SYSTEM AS MANUFACTURED BY RUBBERMAID OR EQUAL AS APPROVED BY WCHA. SHELVING SYSTEM SHALL CONTAIN EASY SUPPORT (FAST TRACK) SYSTEM WITH FIXED HEADER SUPPORT AND ADJUSTABLE VERTICAL SUPPORTS AT 24" O.C. MIN.; PROVIDE 3 SHELVES PER CLOSET. (SEE 4/A507)
6. GC SHALL PREPARE ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FLOORING. FLOOR PREPARATION SHALL INCLUDE SKIN COATING EXISTING SURFACES TO MEET NEW FLOORING MANUFACTURERS REQUIREMENTS; NO EXCEPTIONS; TYPICAL NOTE
7. LVT SHALL BE GLED DOWN (FULL SPREAD) WITH PRESSURE RELEASE ADHESIVE AS RECOMMENDED BY FLOORING MANUFACTURER; TYPICAL NOTE

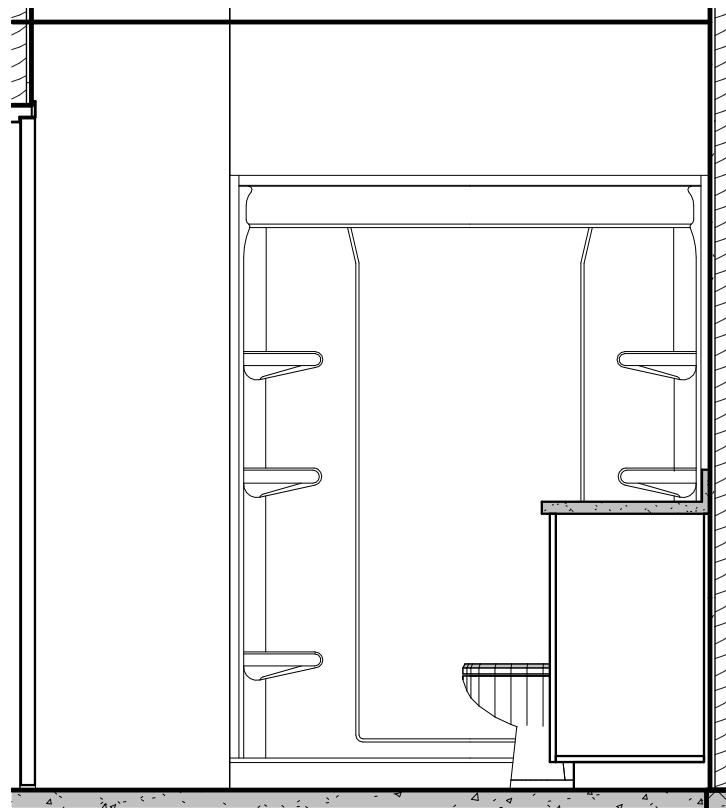
FINISH SCHEDULE KEY:

- LVT: LUXURY VINYL TILE - LOOSE LAY PLANK AS MANUFACTURED BY SOUTHWIND; OR APPROVED EQUAL
- CT: CERAMIC TILE (FLOOR) - ATTACHE 12" X 24" AS MANUFACTURED BY DALTILE; OR APPROVED EQUAL
- WD: WOOD BASE - 3 1/2" X 3/4" W/ BULLNOSE TOE AND 1/4" ROUND SHOE; PAINT.
- RB: RUBBER BASE (6") - PINNACLE PLUS AS MANUFACTURED BY ROPPE; OR APPROVED EQUAL
- GDW: GYPSUM DRYWALL
- PT: PAINT

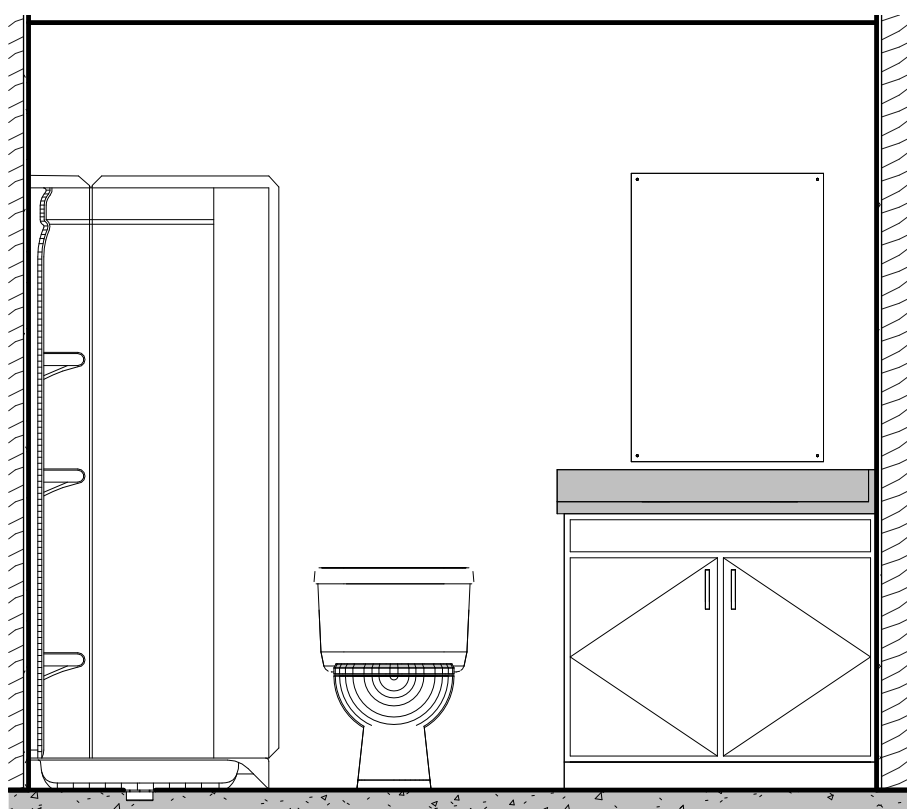


7
A504
ENLARGED PLAN - TYPICAL BATHROOM
1/2" = 1'-0"

BATHROOM NOTES	
Key Value	Keynote Text
1	ADA COMPLIANT WATER CLOSET; SEE SCHEDULE
2	ADA COMPLIANT LAVATORY AND FAUCET; COORDINATE w/ PLUMBING DRAWINGS.
4	MIRROR, 18x36" WITH METAL RM; SEE MOUNTING SCHEDULE
5	GRAB BARS; SEE MOUNTING SCHEDULE
17	ADA COMPLIANT SHOWER UNIT AND CONTINUOUS GRAB BAR, BY G.C.; FITTINGS BY P.C.
5	RECESSED MEDICINE CABINET 18 x 36
50.3	CASEWORK



5
A504
BATHROOM ELEVATION
1/2" = 1'-0"



6
A504
BATHROOM ELEVATION
1/2" = 1'-0"

Dwg. Revisions:

Revision Number	Revision Date

SEAL

CANZIAN/JOHNSTON & ASSOCIATES, LLC.

CANZIAN / JOHNSTON & ASSOCIATES, LLC
A R C H I T E C T S
301 MARKET NEW BRUNSWICK, NEW JERSEY 08901 • P 732.981.9011 • F 732.981.9012
PRINCIPALS: Ardon M. Canzian, R.A., Dan Mackie, R.A., Heather Wenkeiser



CHURCH VIEW COMMONS

MOUNT PLEASANT TOWNSHIP, WESTMORELAND COUNTY, PA

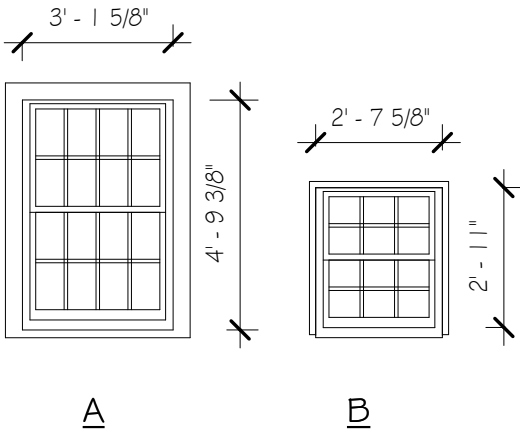
WESTMORELAND NON-PROFIT HOUSING CORPORATION

TYPICAL TWO BEDROOM UNIT

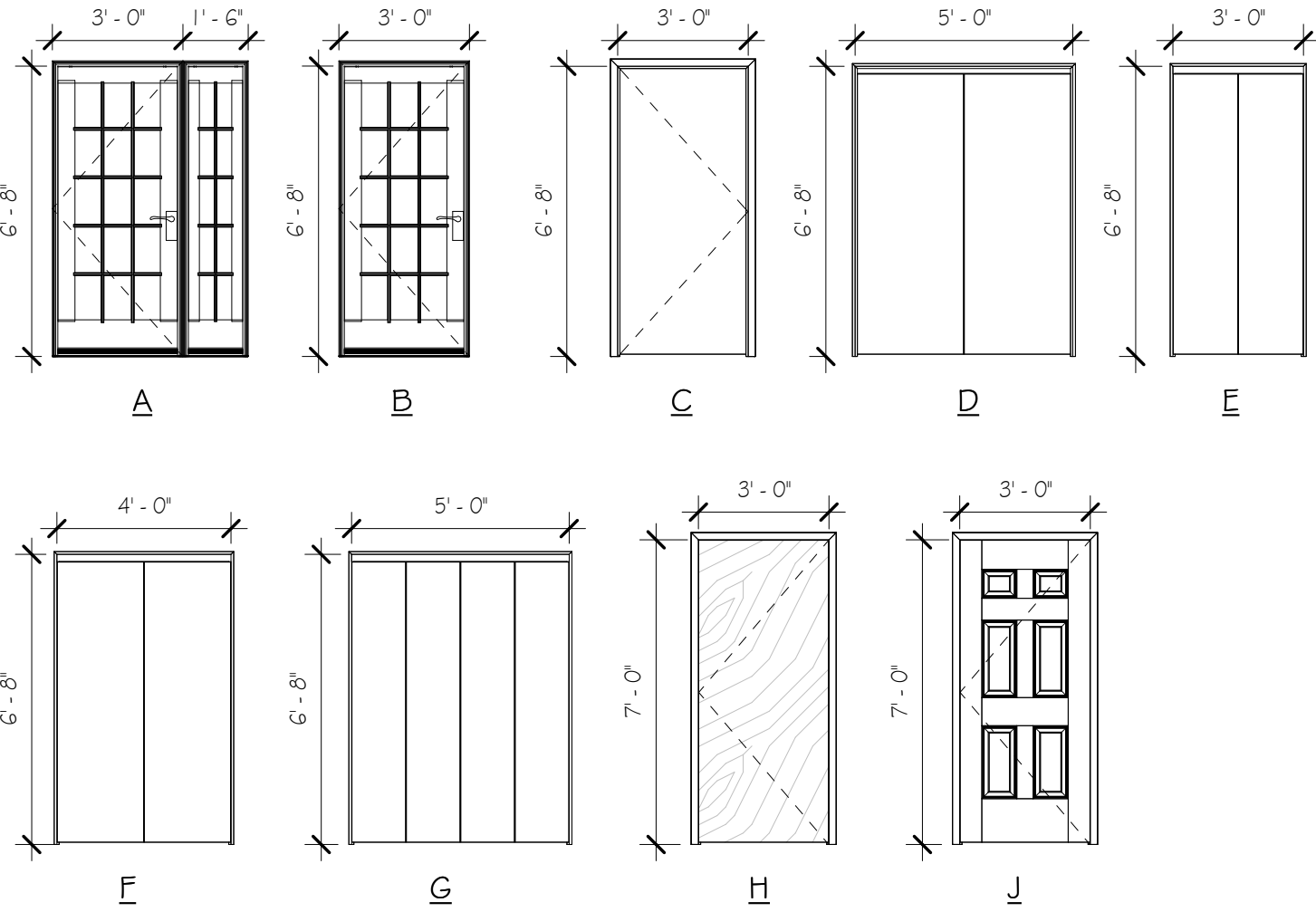
Scale: As indicated
Date: 11/23/2021
Drawn By: SD
Checked By: Checker
Project No.: 2141
File No.:

Drawing No.
A504

WINDOW SCHEDULE				
WINDOW	WIDTH	HEIGHT	U-VALUE	COMMENTS
A	3' - 1 5/8"	4' - 8 7/8"		Vinyl-clad wood double hung window
B	2' - 7 5/8"	3' - 0 7/8"		Vinyl-clad wood double hung window



WINDOW LEGEND
1/4" = 1'-0"



DOOR ELEVATIONS
1/4" = 1'-0"

Dwg. Revisions:

Revision Number	Revision Date

SEAL

CANZIAN/JOHNSTON
& ASSOCIATES, LLC.

CANZIAN / JOHNSTON & ASSOCIATES, LLC
301 MARKET STREET, NEW BRUNSWICK, NEW JERSEY 08901
PRINCIPALS: Antoni M. Canzian, R.A., Dan Masick, R.A., Heather Workman



CHURCH VIEW COMMONS

MOUNT PLEASANT TOWNSHIP, WESTMORELAND
COUNTY, PA

WESTMORELAND NON-PROFIT HOUSING CORPORATION

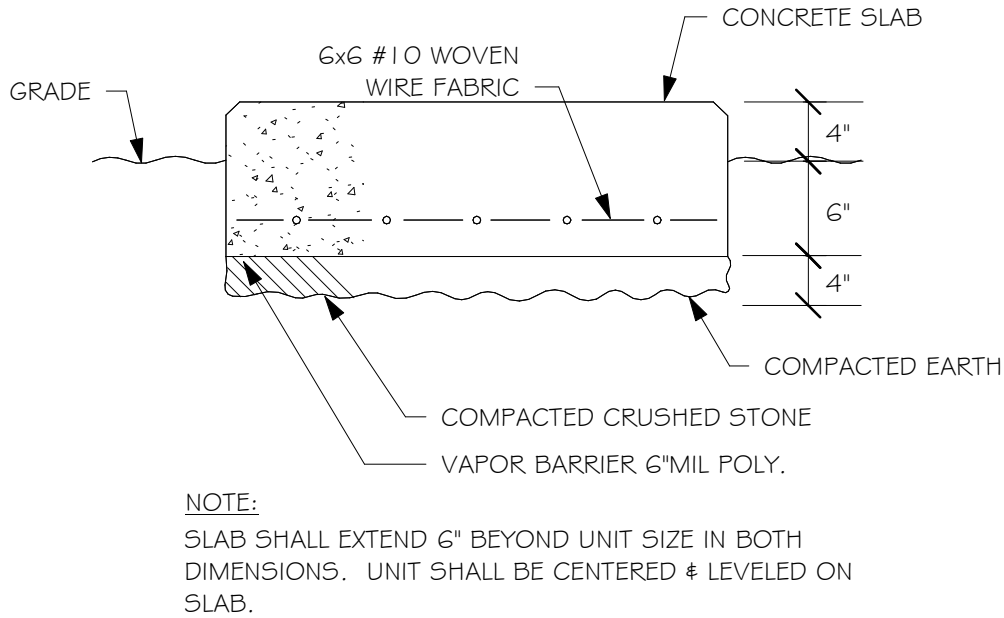
DOOR ELEVATIONS AND SCHEDULE / WINDOW ELEVATIONS AND SCHEDULE

Scale:	As indicated
Date:	11/23/2021
Drawn By:	L.MEYER
Checked By:	Checker
Project No.:	2141
File No.:	

Drawing No.
A601

AIR DEVICE SCHEDULE							
MARK	SERVICE	FACE SIZE (IN)	FINISH	MATERIAL	BASIS OF DESIGN		NOTES
					MANUFACTURER	MODEL	
RG-1	RETURN	24" X 14"	WHITE	STEEL	HART # COOLEY	672	1,2
SD-1	SUPPLY	12" X 6"	WHITE	STEEL	HART # COOLEY	683	1,2
SD-2	SUPPLY	12" X 8"	WHITE	STEEL	HART # COOLEY	683	1,2
SD-3	SUPPLY	14" X 8"	WHITE	STEEL	HART # COOLEY	683	1,2

NOTES:
1. ALL DIFFUSER FINISHES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
2. REFER TO DRAWINGS FOR NOMINAL CFM AND NECK SIZE.



3 CONCRETE PAD DETAIL
SCALE: NONE

FURNACE SCHEDULE													
MARK	SERVES	WEIGHT (LBS)	TOTAL COOLING AIRFLOW (CFM)	OUTSIDE AIRFLOW (CFM)	ESP (IN WG)	ELECTRIC HEAT (KW)	TYPE	EAT / LAT (°F)	ELECTRICAL		BASIS OF DESIGN		
									VOLTS / PHASE	MCA / MOCP	MANUFACTURER	MODEL	NOTES
F-1	TOWNHOUSE	100	1000	100	0.7	12	ELECTRIC	63 / 100	230 / 1	55 / 60	EVCON	EB12	1,2

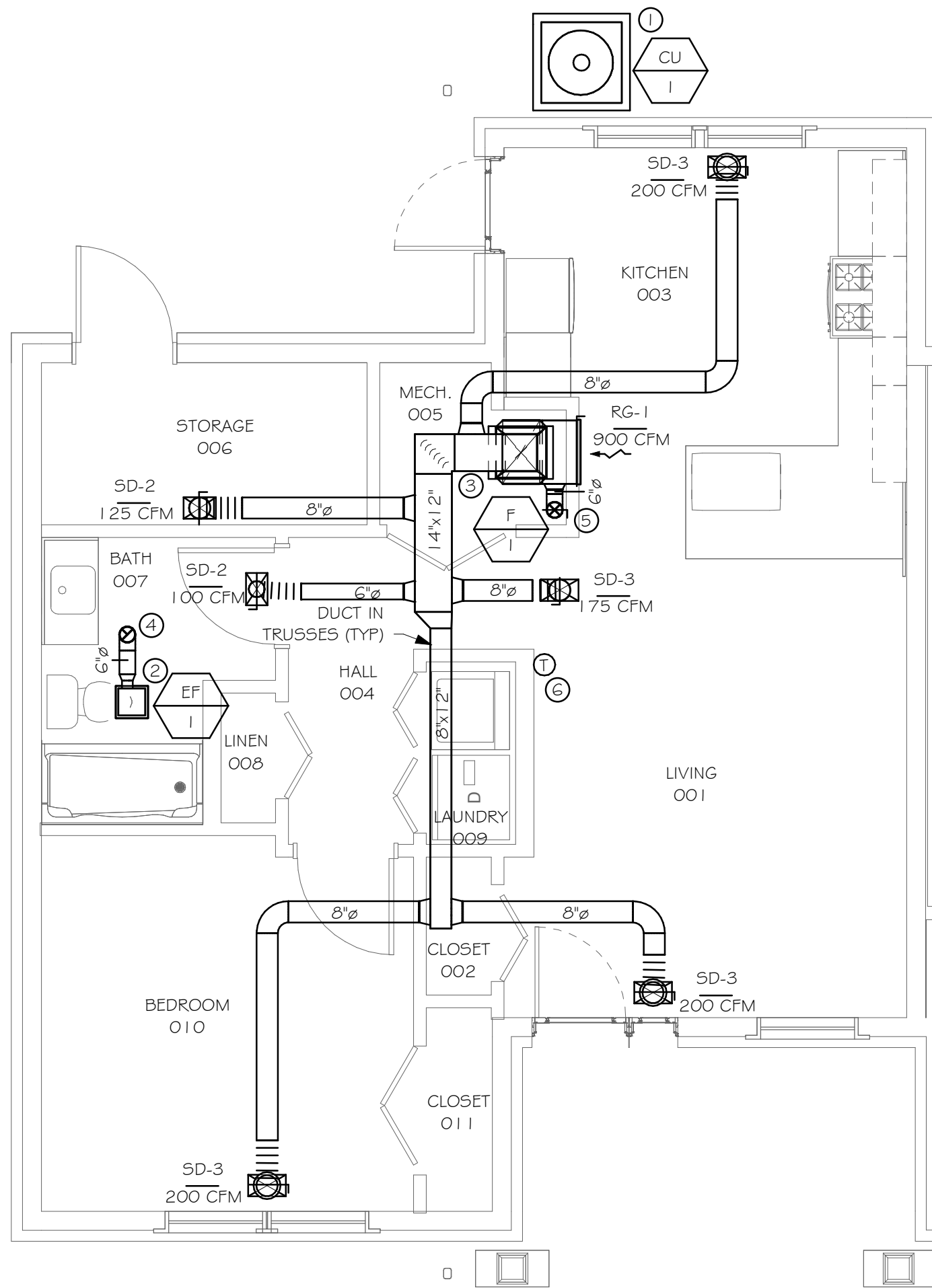
NOTES:
1. PROVIDE FILTER RACK, STAND, 1" MERV 11 FILTERS, ECM MOTOR.
2. PROVIDE HONEYWELL TG PRO SMART THERMOSTAT SINGLE STAGE 1 HEAT/1 COOL MODEL THG21OU2001. PROGRAM THE THERMOSTAT TO INTERLOCK OPERATIONS WITH THE FURNACE, CONDENSING UNIT AND OUTDOOR AIR DAMPER. FURNACE SUPPLY FAN SHALL OPERATE AT LEAST 50% OF THE TIME IN A GIVEN 4-HOUR SEGMENT WITH THE OUTDOOR AIR DAMPER OPEN. THE FURNACE, CONDENSING UNIT, OUTDOOR AIR DAMPER AND FURNACE SUPPLY FAN SHALL OPERATE TOGETHER ON A CALL FOR HEATING/COOLING FROM THE THERMOSTAT. PROVIDE ALL CIRCUITRY BETWEEN HVAC EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.

AIR COOLED CONDENSING UNIT SCHEDULE										
MARK	SERVES	WEIGHT (LBS)	TOTAL CAPACITY (MBH)	MIN SEER	REFRIGERANT	ELECTRICAL		BASIS OF DESIGN		NOTES
						VOLTS / PHASE	MCA / MOCP	MANUFACTURER	MODEL	
CU-1	FURNACE	140	24	14	R410A	230 / 1	13.6 / 20	EVCON	RAC14F24B215	1,2

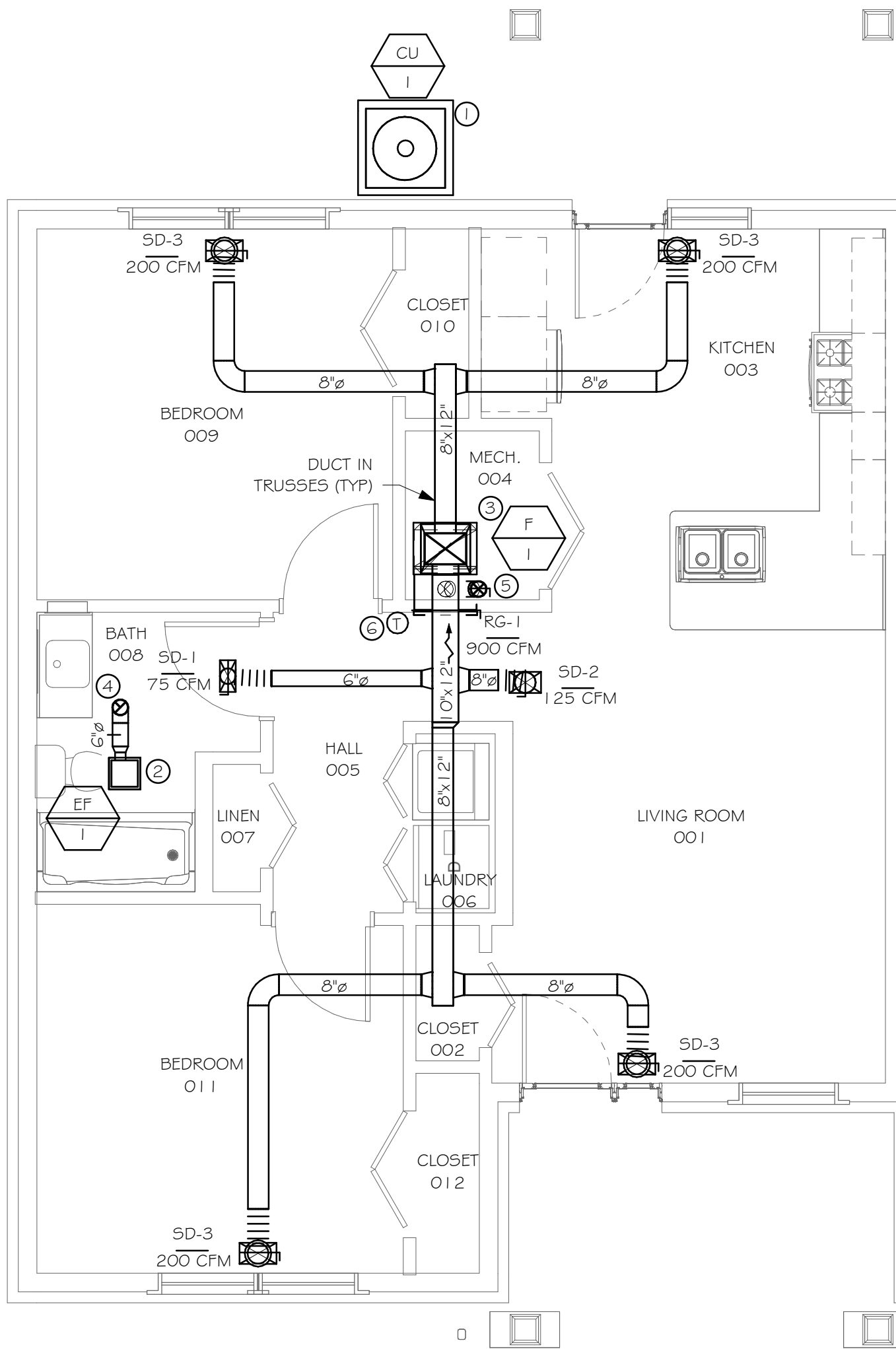
NOTES:
1. PROVIDE WITH 24,000 BTU, CASED A-COIL SUITABLE FOR MATCH WITH FURNACE AND CONDENSING UNIT.
2. PROVIDE THERMOSTAT, CONTROL WIRING, REFRIGERANT PIPING, REFRIGERANT AND DISCONNECT.

EXHAUST FAN SCHEDULE										
MARK	SERVES	WEIGHT (LBS)	AIRFLOW (CFM)	ESP (IN WG)	FAN WATTS	ELECTRICAL		BASIS OF DESIGN		NOTES
						VOLTS / PHASE	MCA / MOCP	MANUFACTURER	MODEL	
EF-1	BATHROOM	10	100	0.1	11	120 / 1	0.4 / 15	BROAN	LP50100DC	1,2

NOTES:
1. CONTROLLED VIA WALL SWITCH.
2. PROVIDE WITH ROOF CAP, BIRDSCREEN AND BACKDRAFT DAMPER.



1 MECHANICAL ONE BEDROOM - MODIFICATION PLAN
SCALE: 1/4" = 1'-0"

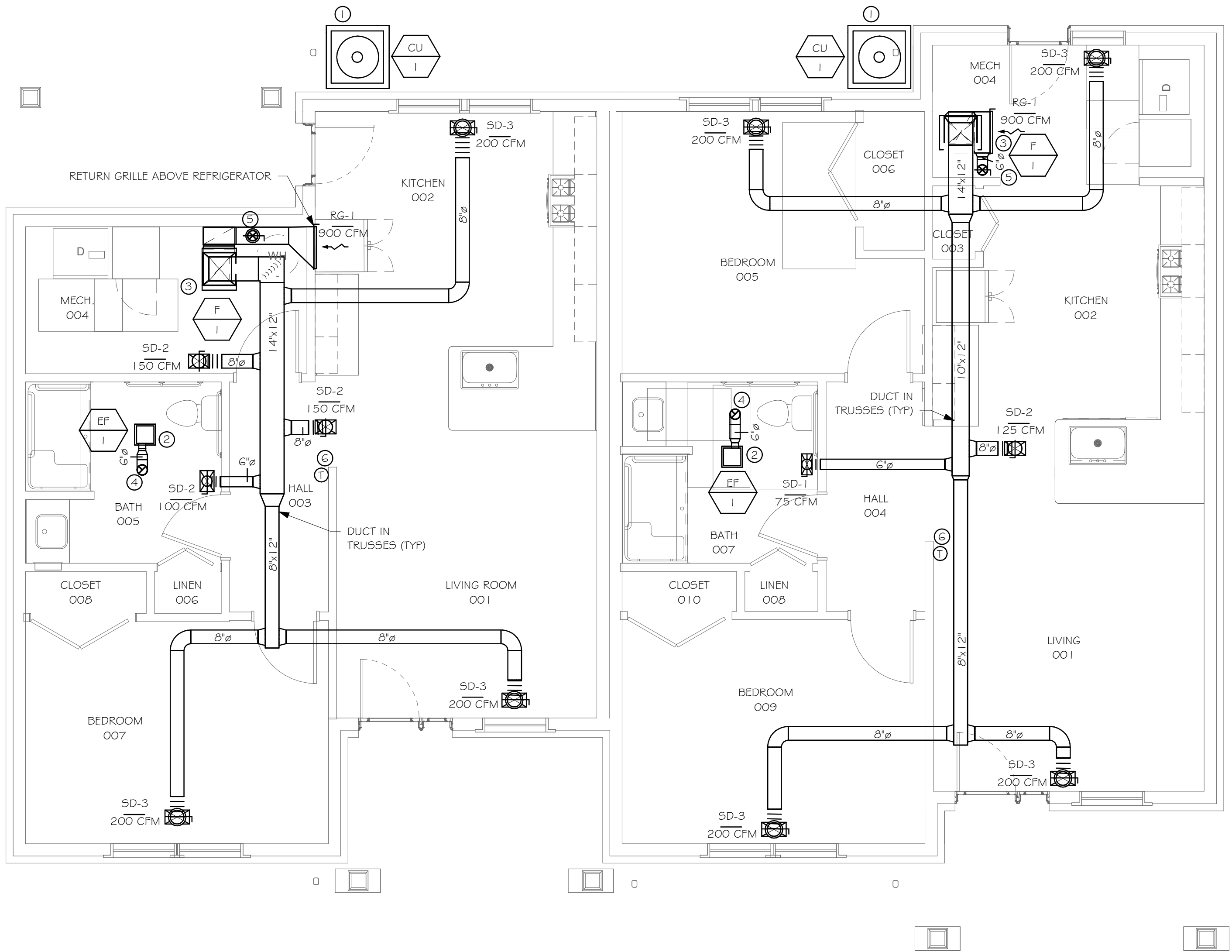


2 MECHANICAL TWO BEDROOM UNIT - MODIFICATION PLAN
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
- ALL NOTES ON MEP001 APPLY TO THIS DRAWING.
 - PROVIDE DUCT INSULATION FOR THE FOLLOWING DUCTWORK WITH THE R-VALUE NOTED:
 - F-1 - OUTDOOR, SUPPLY AND RETURN DUCTWORK - R-6
- NEW WORK KEYED NOTES:
- PROVIDE CONDENSING UNIT PER SCHEDULE. PROVIDE CONCRETE PAD PER DETAIL. PROVIDE REFRIGERANT PIPING PER MANUFACTURER REQUIREMENTS AND CONTROL WIRING TO FURNACE.
 - PROVIDE EXHAUST FAN PER SCHEDULE. INTERLOCK FAN OPERATION WITH LIGHT SWITCH. PROVIDE 4" EXHAUST DUCT THROUGH ROOF WITH ROOF CAP AND SEAL WEATHERTIGHT.
 - PROVIDE FURNACE PER SCHEDULE. PROVIDE FURNACE STAND TO ACCOMMODATE BOTTOM RETURN DUCT AND SEPARATE BUILDING STRUCTURE FROM STAND WITH VIBRATION ISOLATION PADS. PROVIDE DUCT PER PLAN. PROVIDE REFRIGERANT PIPING SIZED PER MANUFACTURER REQUIREMENTS, BETWEEN CONDENSING UNIT AND FURNACE A-COIL.
 - PROVIDE 9" ROUND ROOF VENT, ACTIVE VENTILATION PRODUCTS INC. MODEL # RBV-9-C2-TP OR EQUAL, WITH TAIL PIPE ADAPTER FOR CONNECTION TO EXHAUST DUCT. COORDINATE ROOF VENT COLOR WITH OWNER.
 - PROVIDE 12" ROUND ROOF LOUVER AIR INTAKE, ACTIVE VENTILATION PRODUCTS INC. MODEL # FV-12-C4 OR EQUAL, WITH TAIL PIPE ADAPTER FOR CONNECTION TO OUTDOOR AIR DUCT. COORDINATE ROOF INTAKE COLOR WITH OWNER.
 - PROVIDE THERMOSTAT AND CONTROL WIRING. REFER TO FURNACE SCHEDULE NOTES FOR MORE INFORMATION ON THERMOSTAT.



1 MECHANICAL UFAS UNIT - MODIFICATION PLAN
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
- ALL NOTES ON MECH001 APPLY TO THIS DRAWING.
 - PROVIDE DUCT INSULATION FOR THE FOLLOWING DUCTWORK WITH THE R-VALUE NOTED:
 - F-1 - OUTDOOR, SUPPLY AND RETURN DUCTWORK - R-6
- NEW WORK KEYED NOTES:
- PROVIDE CONDENSING UNIT PER SCHEDULE. PROVIDE CONCRETE PAD PER DETAIL. PROVIDE REFRIGERANT PIPING PER MANUFACTURER REQUIREMENTS AND CONTROL WIRING TO FURNACE.
 - PROVIDE EXHAUST FAN PER SCHEDULE. INTERLOCK FAN OPERATION WITH LIGHT SWITCH. PROVIDE 4" EXHAUST DUCT THROUGH ROOF WITH ROOF CAP AND SEAL WEATHERTIGHT.
 - PROVIDE FURNACE PER SCHEDULE. PROVIDE FURNACE STAND TO ACCOMMODATE BOTTOM RETURN DUCT AND SEPARATE BUILDING STRUCTURE FROM STAND WITH VIBRATION ISOLATION PADS. PROVIDE DUCT PER PLAN. PROVIDE REFRIGERANT PIPING SIZED PER MANUFACTURER REQUIREMENTS, BETWEEN CONDENSING UNIT AND FURNACE A-COIL.
 - PROVIDE 9" ROUND ROOF VENT, ACTIVE VENTILATION PRODUCTS INC. MODEL # RBV-9-C2-TP OR EQUAL, WITH TAIL PIPE ADAPTER FOR CONNECTION TO EXHAUST DUCT. COORDINATE ROOF VENT COLOR WITH OWNER.
 - PROVIDE 12" ROUND ROOF LOUVER AIR INTAKE, ACTIVE VENTILATION PRODUCTS INC. MODEL # FV-12-C4 OR EQUAL, WITH TAIL PIPE ADAPTER FOR CONNECTION TO OUTDOOR AIR DUCT. COORDINATE ROOF INTAKE COLOR WITH OWNER.
 - PROVIDE THERMOSTAT AND CONTROL WIRING. REFER TO FURNACE SCHEDULE NOTES FOR MORE INFORMATION ON THERMOSTAT.

WCHA
CHURCH VIEW COMMONS
MECHANICAL UFAS UNIT - MODIFICATION PLAN

Barton & Loguidice
2790 MossSide Blvd, Suite 840
Monroeville, PA 15146
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12/13/2024
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AS SHOWN
Sheet Number
M102
Project Number
2569.011.001



1. ALL NOTES ON MEPOOI APPLY TO THIS DRAWING.

- NEW WORK KEYED NOTES:
 1. PROVIDE BACKFLOW PREVENTER PER PLUMBING FIXTURE SCHEDULE. INSTALL RELOCATED PRESSURE REDUCING VALVE. COORDINATE FINAL LOCATION WITH NEW WATER HEATER. PROVIDE DOMESTIC WATER PIPING BELOW SLAB PER RISER DIAGRAM.
 2. PROVIDE WATER HEATER AND FLOOR DRAIN PER PLUMBING FIXTURE SCHEDULE. PROVIDE PIPING FITTINGS AND EXPANSION TANK PER WATER HEATER DETAIL AND PLUMBING FIXTURE SCHEDULE. PROVIDE B-VENT FLUE PIPING THROUGH ROOF. FLASH AND SEAL WEATHERTIGHT.
 3. PROVIDE KITCHEN SINK PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC HOT AND COLD WATER, SANITARY DRAIN AND VENT PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS.
 4. PROVIDE WALL WASHER BOX PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC HOT AND COLD WATER, SANITARY DRAIN AND VENT PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS.
 5. PROVIDE RESTROOM FIXTURES PER PLUMBING FIXTURE SCHEDULE. PROVIDE ALL NECESSARY PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS. TYPICAL.
 6. PROVIDE ICE MAKER BOX PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC COLD WATER PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAM.
 7. PROVIDE HOSE BIBB PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC COLD WATER PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAM.

REVISIONS	

WCHA
CHURCH VIEW COMMONS
PLUMBING ONE & TWO BEDROOM UNITS - MODIFICATION
PLAN

Ba 279
B&L

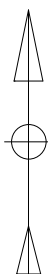
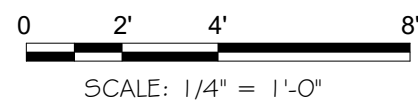
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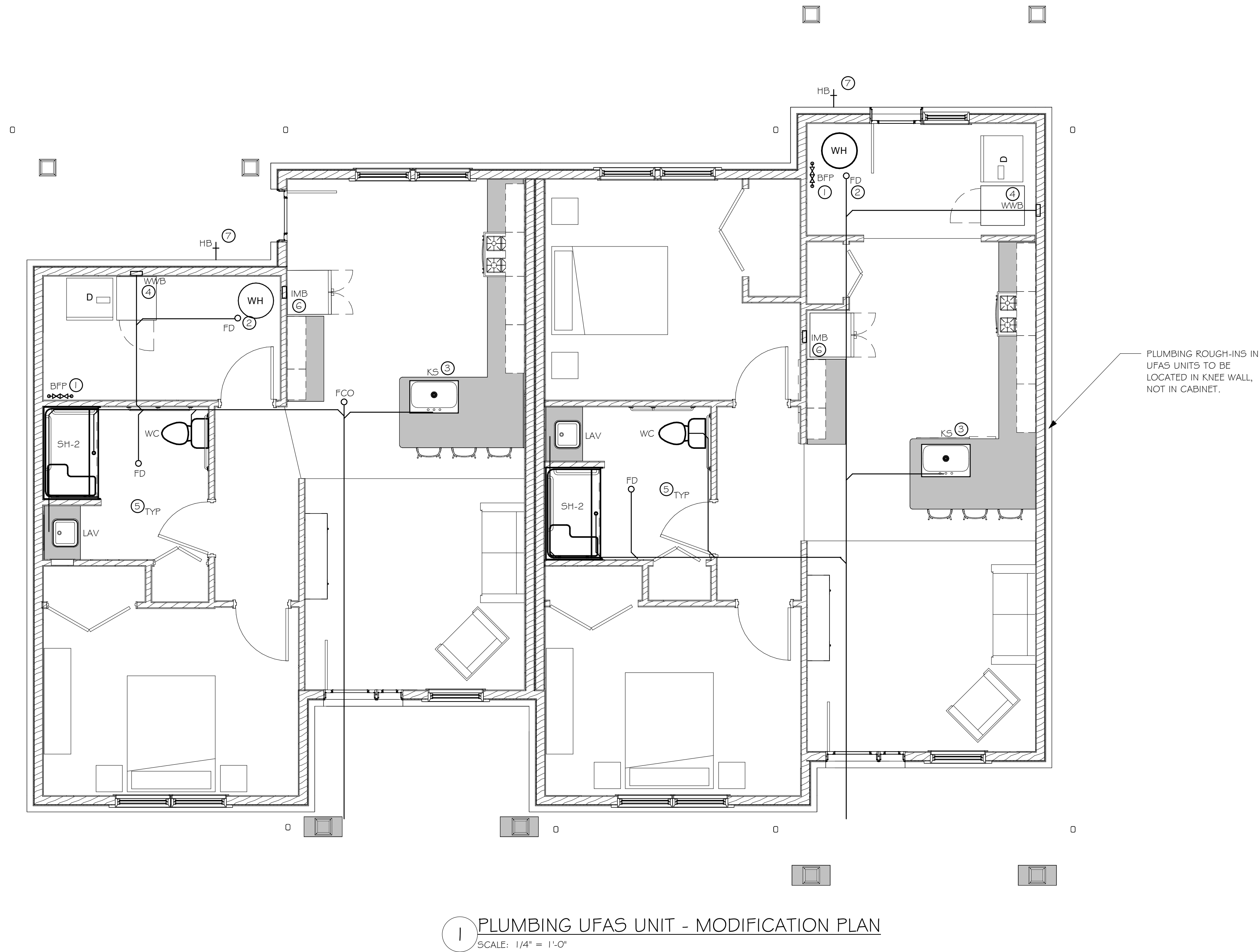
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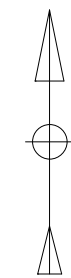
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1 PLUMBING UFAS UNIT - MODIFICATION PLAN
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



GENERAL NOTES:
1. ALL NOTES ON MEPOO1 APPLY TO THIS DRAWING.

- NEW WORK KEYED NOTES:
- 1. PROVIDE BACKFLOW PREVENTER PER PLUMBING FIXTURE SCHEDULE. INSTALL RELOCATED PRESSURE REDUCING VALVE. COORDINATE FINAL LOCATION WITH NEW WATER HEATER. PROVIDE DOMESTIC WATER PIPING BELOW SLAB PER RISER DIAGRAM.
 - 2. PROVIDE WATER HEATER AND FLOOR DRAIN PER PLUMBING FIXTURE SCHEDULE. PROVIDE PIPING FITTINGS AND EXPANSION TANK PER WATER HEATER DETAIL AND PLUMBING FIXTURE SCHEDULE. PROVIDE B-VENT FLUE PIPING THROUGH ROOF. FLASH AND SEAL WEATHERTIGHT.
 - 3. PROVIDE KITCHEN SINK PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC HOT AND COLD WATER, SANITARY DRAIN AND VENT PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS.
 - 4. PROVIDE WALL WASHER BOX PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC HOT AND COLD WATER, SANITARY DRAIN AND VENT PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS.
 - 5. PROVIDE RESTROOM FIXTURES PER PLUMBING FIXTURE SCHEDULE. PROVIDE ALL NECESSARY PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAMS. TYPICAL.
 - 6. PROVIDE ICE MAKER BOX PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC COLD WATER PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAM.
 - 7. PROVIDE HOSE BIBB PER PLUMBING FIXTURE SCHEDULE. PROVIDE DOMESTIC COLD WATER PIPING AND FITTINGS PER PLUMBING FIXTURE SCHEDULE AND RISER DIAGRAM.

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PLUMBING UFAS UNIT - MODIFICATION PLAN

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PLUMBING RISER DIAGRAMS

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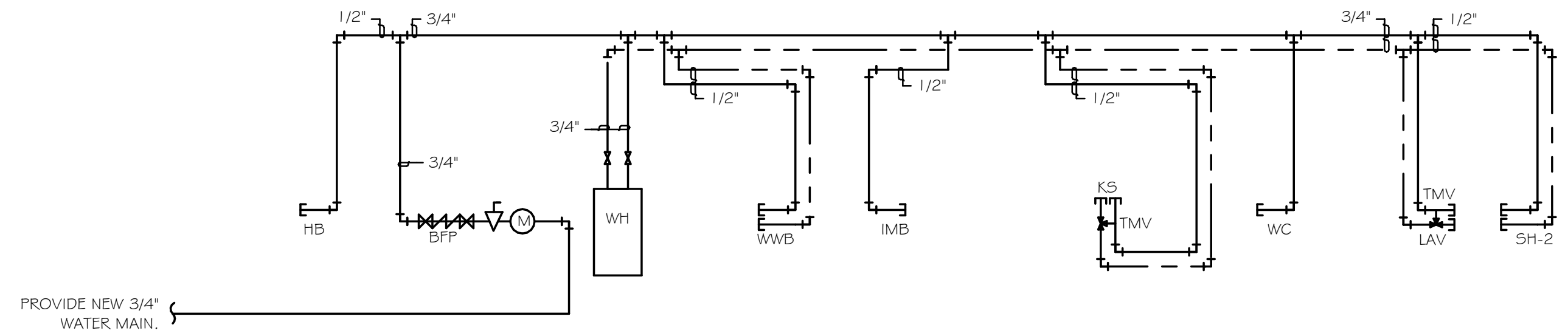
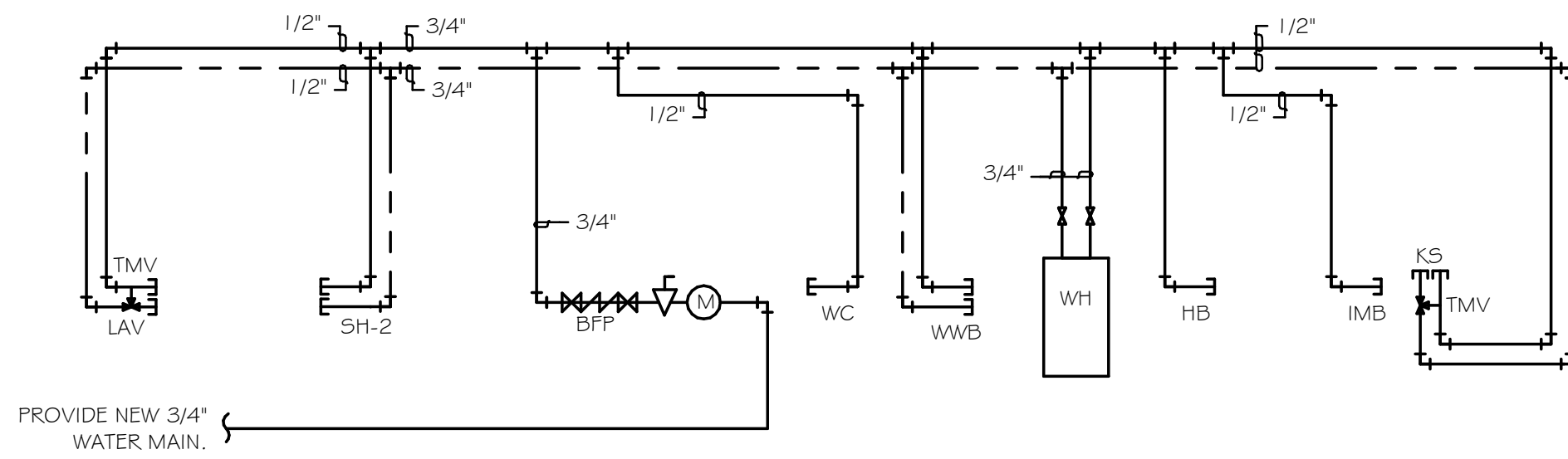
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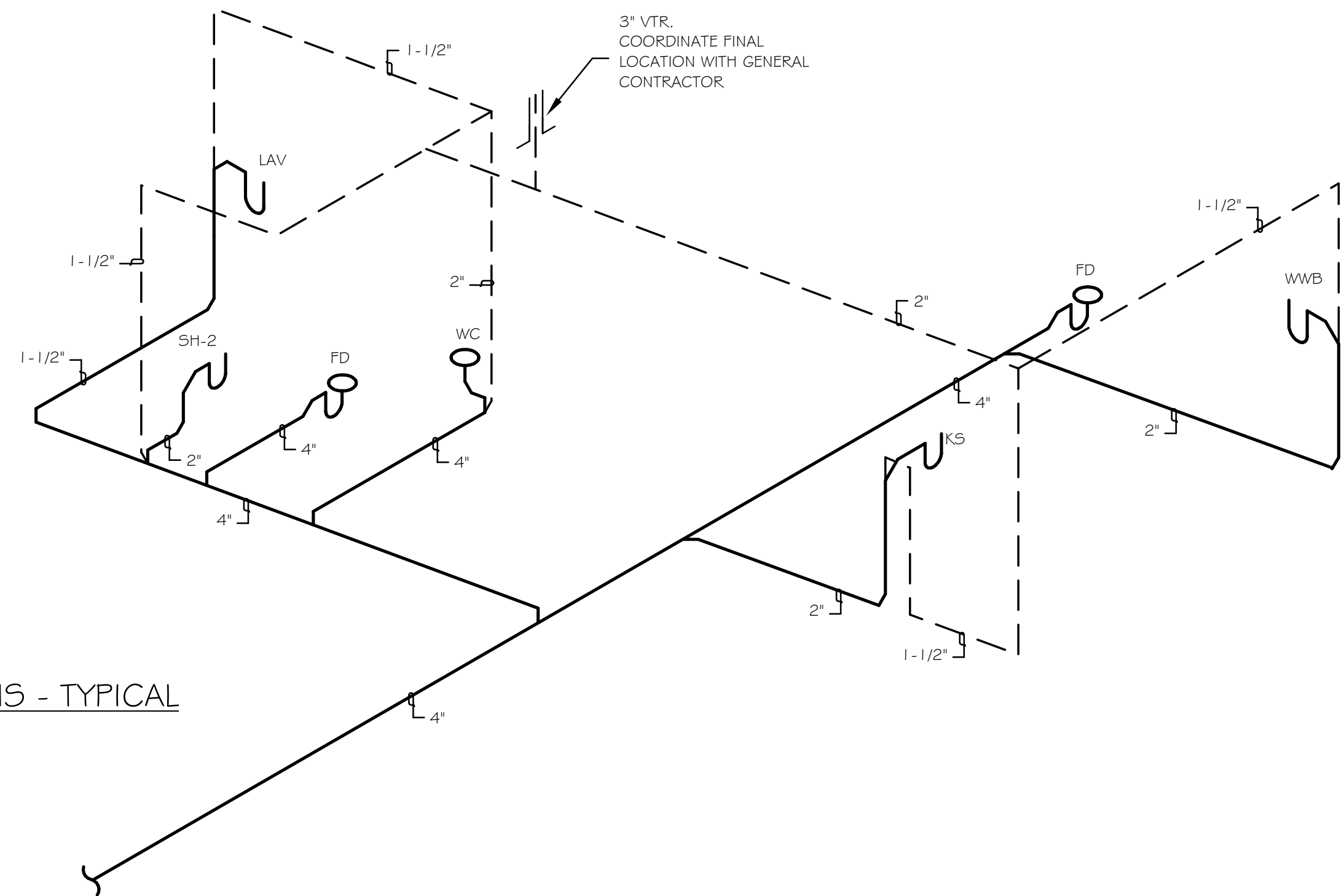
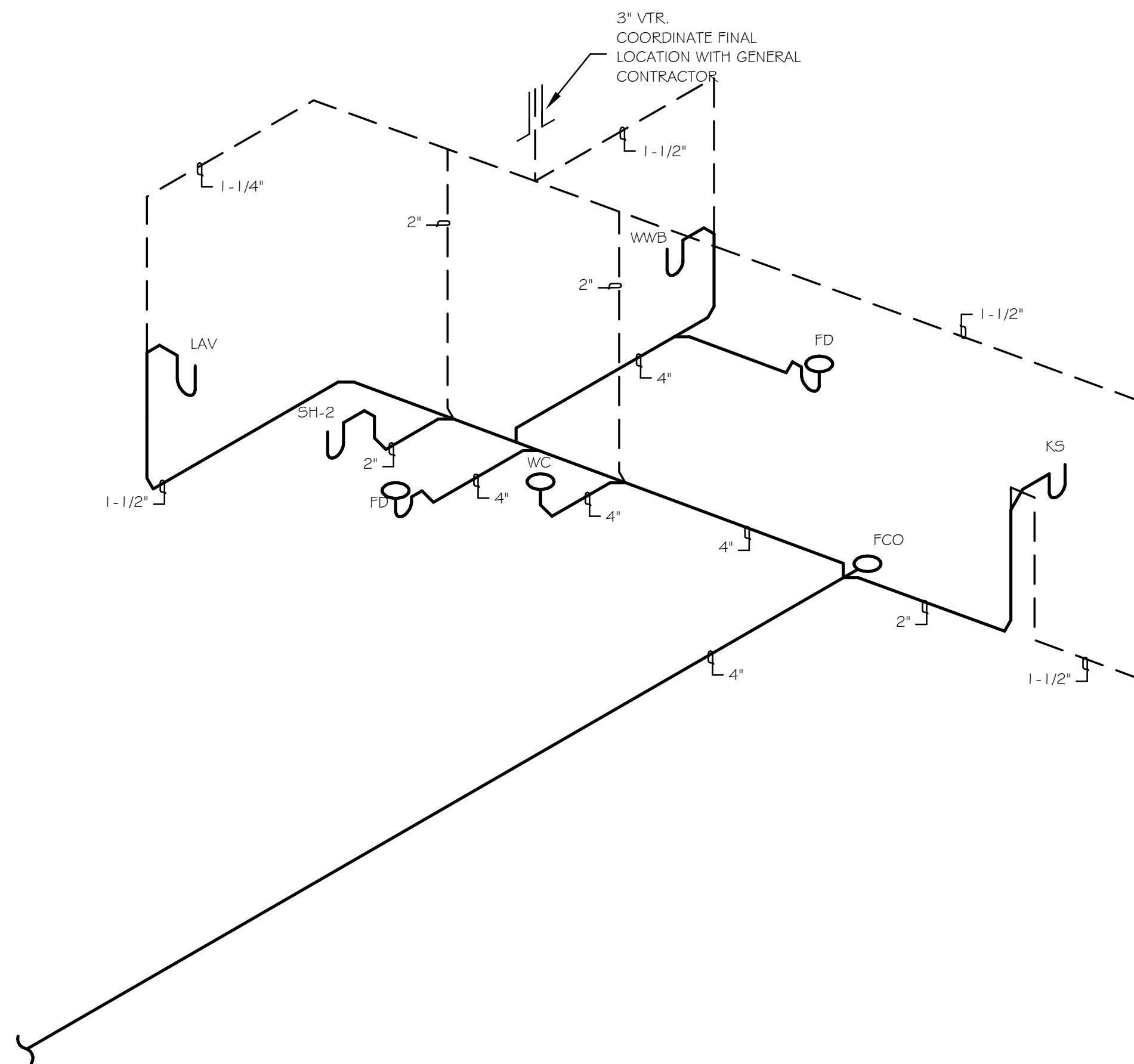
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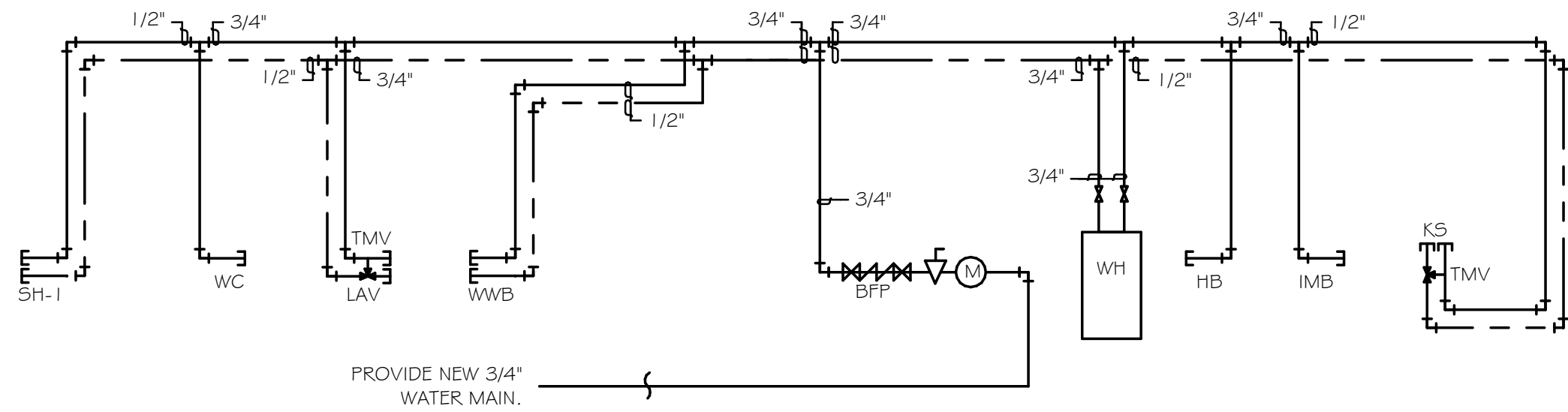
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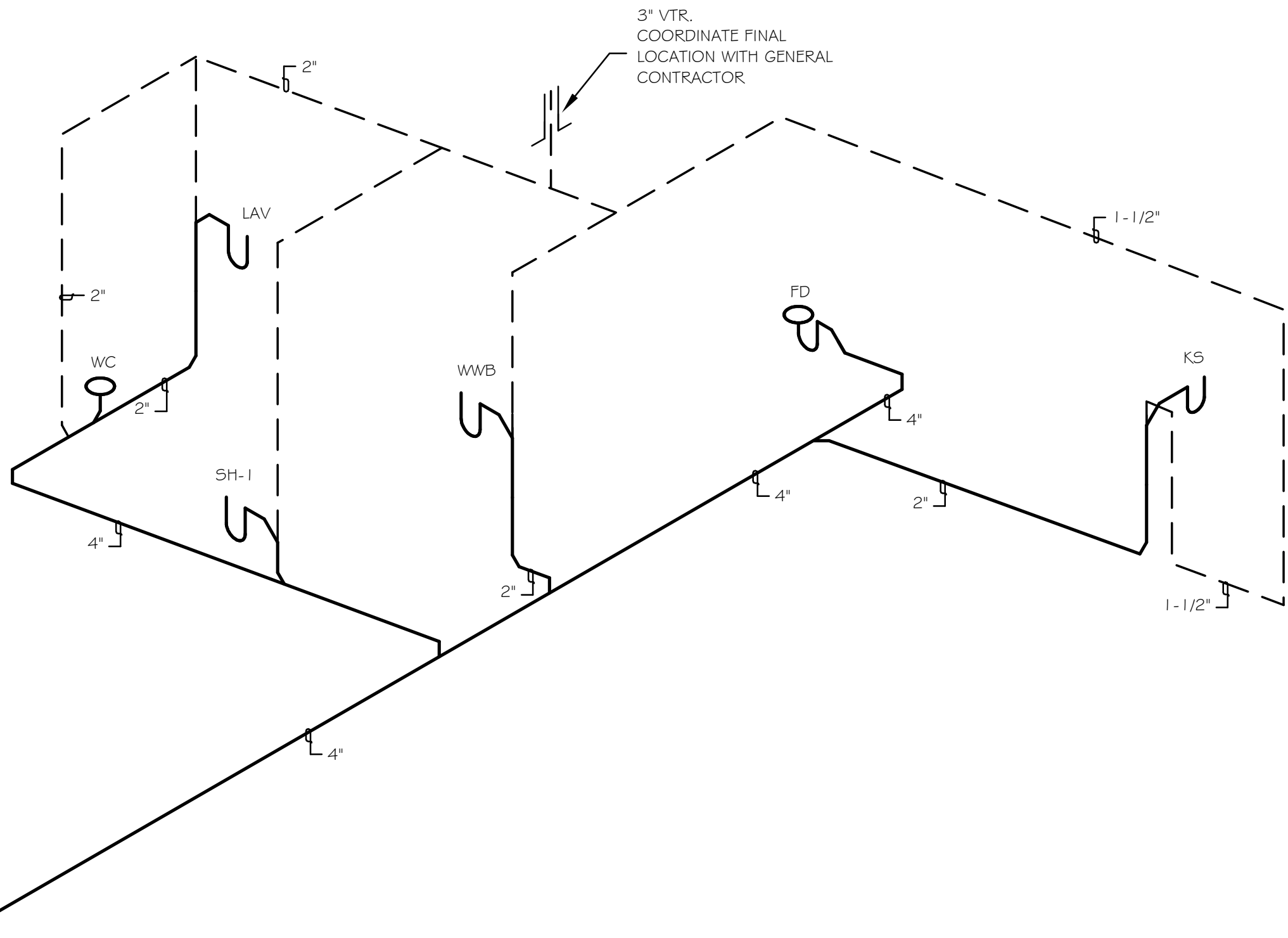
1 UFAS DOMESTIC WATER RISER DIAGRAMS - TYPICAL
SCALE: NONE



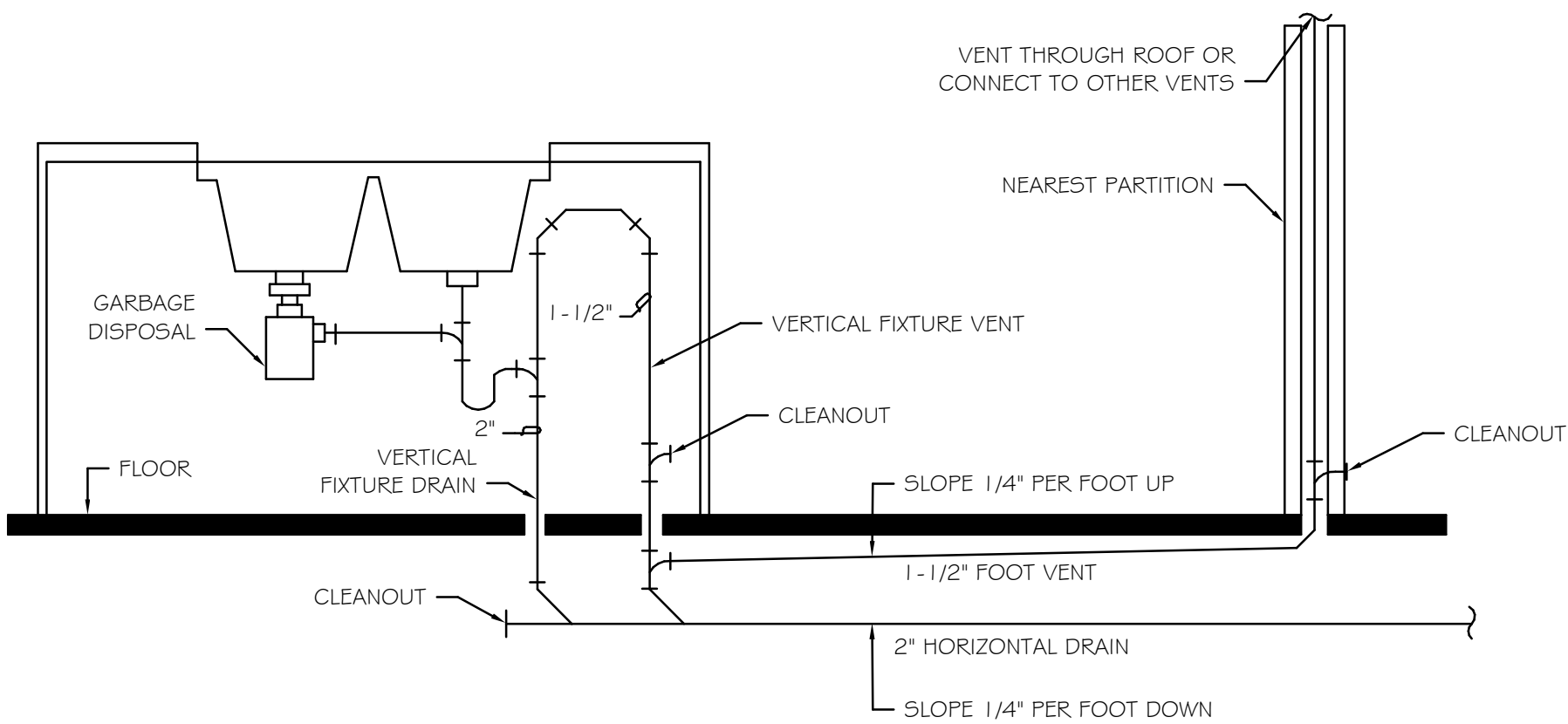
2 UFAS SANITARY DRAIN AND VENT RISER DIAGRAMS - TYPICAL
SCALE: NONE



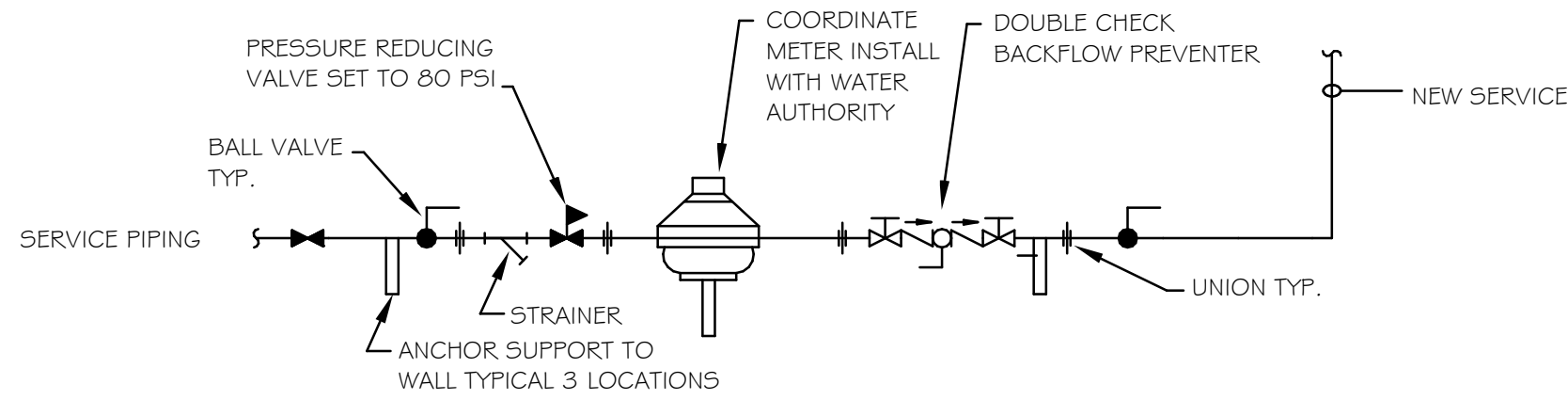
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SCALE: NONE



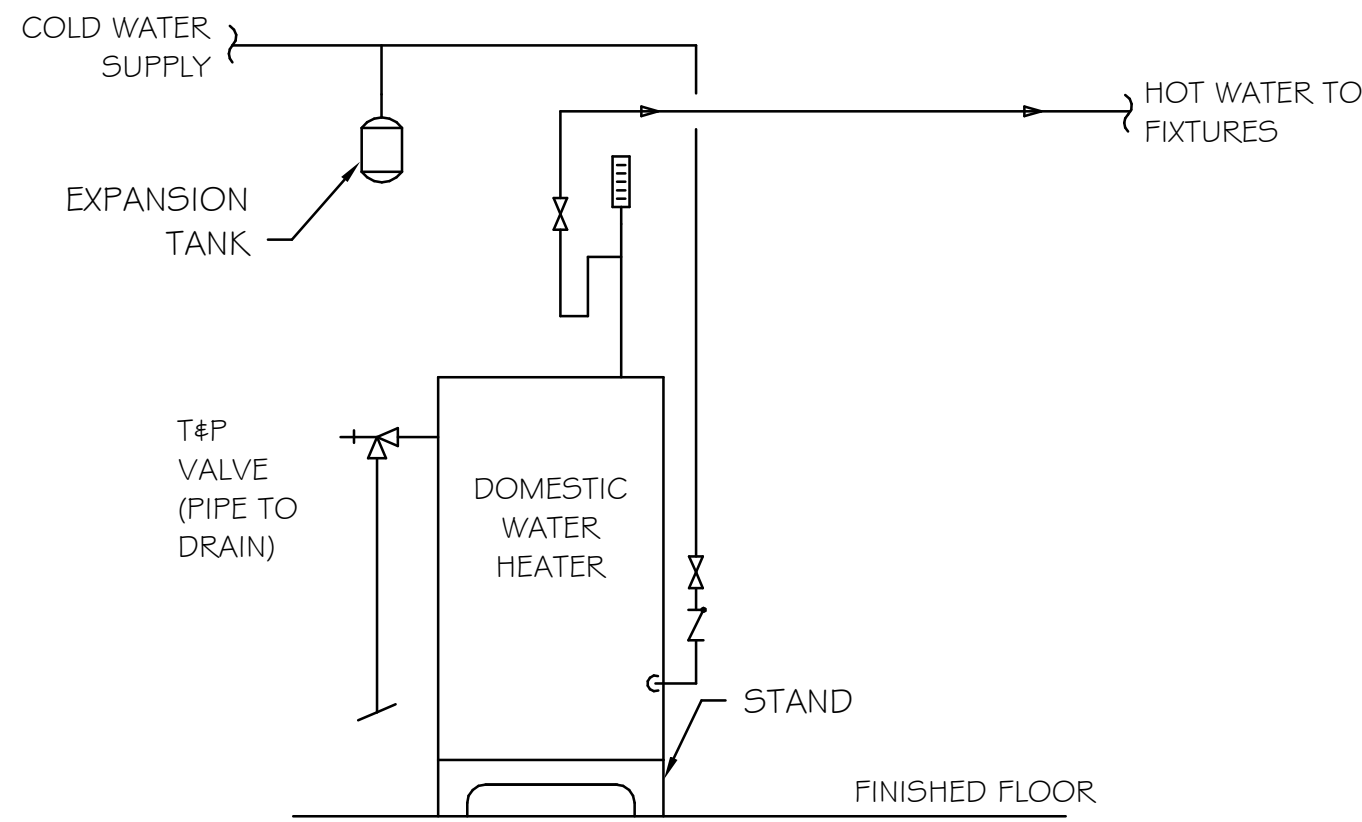
2 ONE/TWO BEDROOM SANITARY DRAIN AND VENT RISER DIAGRAM - TYPICAL
SCALE: NONE



3 KITCHEN ISLAND VENTING DETAIL
SCALE: NONE



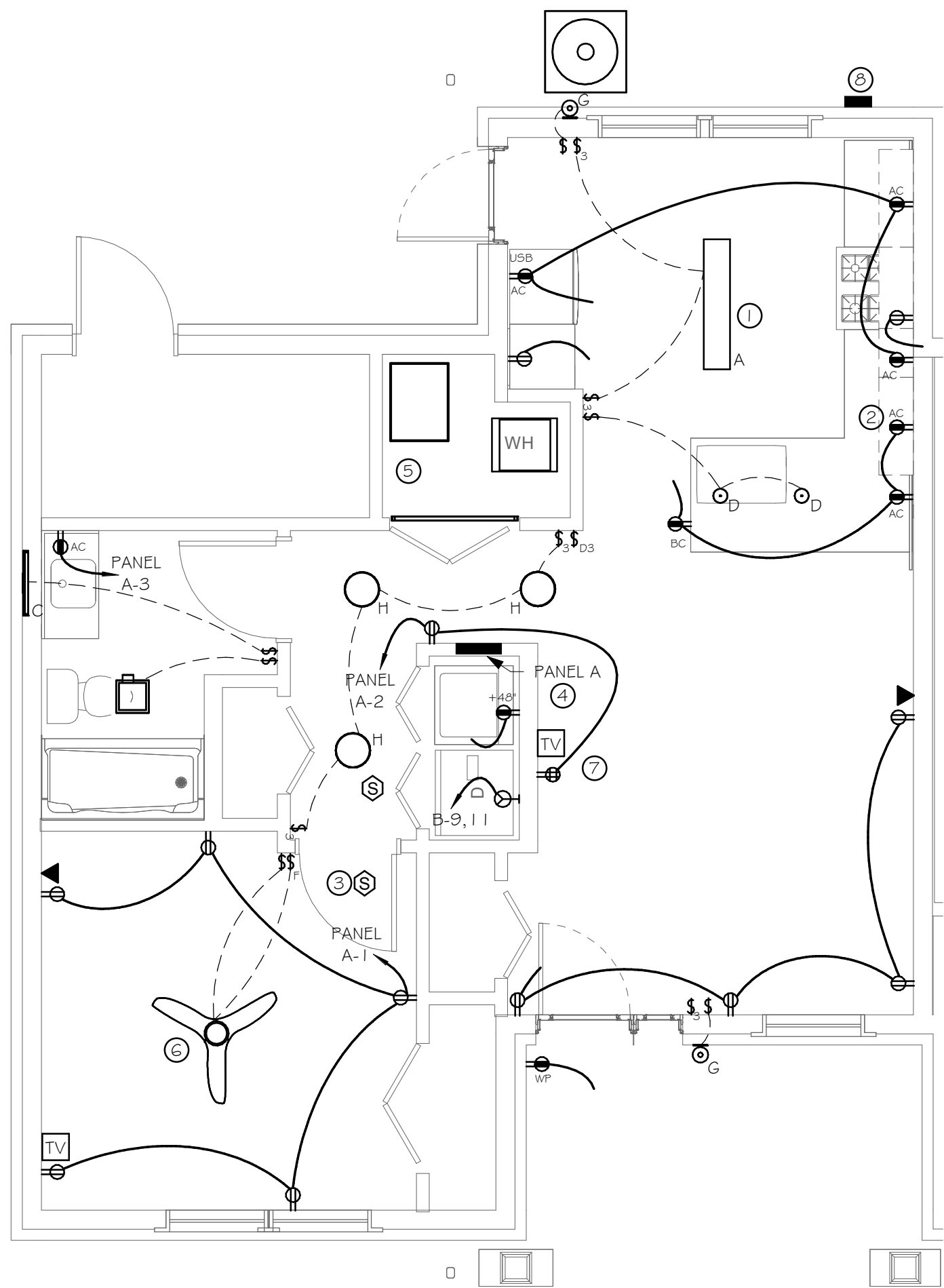
4 BACKFLOW PREVENTER DETAIL
SCALE: NONE



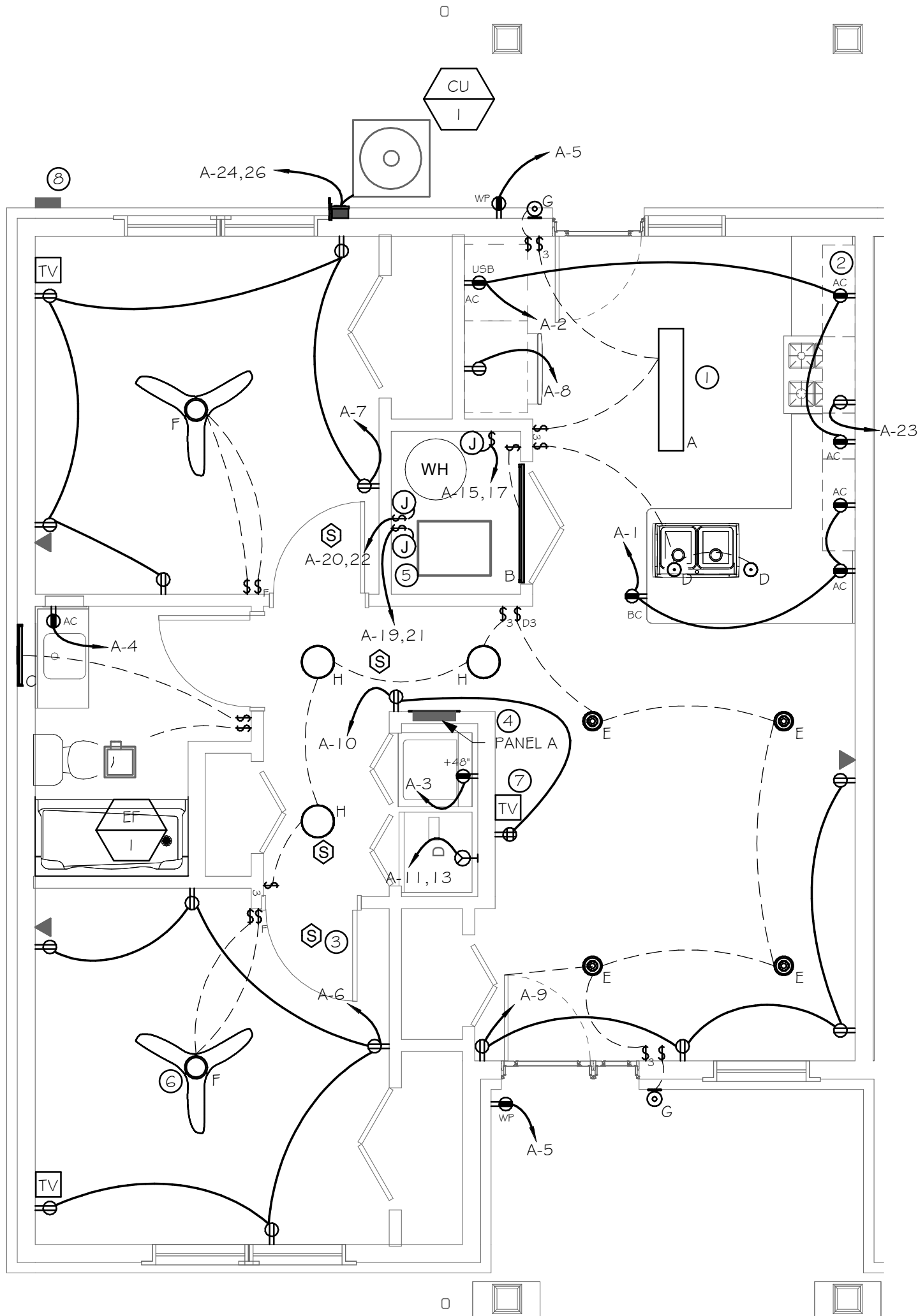
5 WATER HEATER DETAIL
SCALE: NONE

PLUMBING FIXTURE SCHEDULE										
EQUIP DESIG	FIXTURE	FIXTURE UNITS			CONNECTION SIZE (IN.)				MANUFACTURER AND MODEL	REMARKS
		DFU	WSFU		CW	HW	WASTE	VENT		
			COLD	HOT						
WC	Water Closet (ADA Compliant)	4	2.2	-	1/2"	-	4"	2"	Kohler Highline K-3658	Vitreous china, floor mounted, two piece, flush tank, 1.28 gpf max. Provide with Kohler Cachet K-4636 plastic elongated white seat.
LAV	Lavatory (ADA Compliant)	1	1.5	1.5	1/2"	1/2"	1-1/2"	1-1/4"	Kohler Tahoe 2895-4 Delta 2529LF-HDM	21" Rectangular drop-in sink. Provide Delta 2529LF-HDM chrome plated, centerset faucet with wristblade handles. Provide with TMV.
KS	Kitchen Sink (ADA Compliant)	2	1	1	1/2"	1/2"	2"	1-1/2"	Elkay Lustertone LRAD332265 Delta 175-D5T	33" x 22" x 6-1/2" Stainless steel, equal double bowl top mount ADA sink with holes to match faucet. Provide Delta 175-D5T Classic Single Handle Kitchen Faucet with sprayer. Provide strainer, p-trap and tailpiece. Provide with TMV.
IMB	Ice Maker Box	-	0.5	-	1/2"	-	-	-	Oatey model 39140	Provide with quarter turn valve and metal faceplate. Where used for coffee service, install above countertop.
WWB	Wall Washer Box	1	1.5	1.5	1/2"	1/2"	2"	1-1/2"	Oatey 38640	Provide with individual valves and water hammer arrestors.
SH-1	Shower (ADA Compliant)	2	3	3	1/2"	1/2"	2"	1-1/2"	Sterling Medley 724401 I G Delta T171T078 Valve & Delta 52003-D5 Shower Head	Provide Delta TempAssure T171T078" shower valve and Delta 52003-D5" Shower head. Provide with 5' flexible metal hose, mixing valve and side bar. Coordinate valve, head and piping installation with GC.
SH-2	Shower (ADA Compliant)	2	3	3	1/2"	1/2"	2"	1-1/2"	Comfort Designs XST-SST-6238 Delta T171T078 Valve & Delta 52003-D5 Shower Head	Provide Delta TempAssure T171T078" shower valve and Delta 52003-D5" Shower head. Provide with 5' flexible metal hose, mixing valve and side bar. Coordinate valve, head and piping installation with GC.
TMV	Thermal Mixing Valve	-	-	-	1/2"	1/2"	-	-	Leonard model 170-LF	Set outlet temperature at 110°F maximum.
WH	Water Heater	-	-	-	3/4"	3/4"	-	-	Bradford White RE3505G	45 Gallon Residential Upright Electric Water Heater, 21 Gallon Recovery @ 90 °F.
ET	Expansion Tank	-	-	-	-	1/2"	-	-	Amtrol 5T-5	Bladder-type thermal expansion tank.
BFP	Backflow Preventer	-	-	-	3/4"	-	-	-	Watts LF007	Lead Free Double Check Valve Assembly
HB	Freeze Proof Hose Bibb	-	0.5	-	1/2"	-	-	-	J.R. Smith 5509QT	Quarter turn freeze proof wall hydrant in stainless enclosure. Label as non-potable and include key.
FD	Floor Drain	-	-	-	-	-	4"	-	J.R. Smith 2005	Adjustable grease floor drain with integral backwater valve. Provide with mechanical seal, similar to Trapguard by ProVent Systems.
FCO	Floor Cleanout	-	-	-	-	-	4"	-	J.R. Smith 4120A	Duco cast iron floor cleanout with round adjustable sconated nickel-bronze top. Provide with mechanical seal, similar to Trapguard by ProVent Systems.
NOTES: 1. Provide all ancillary components such as wall carriers, mounting hardware, fixture supplies, stops, traps, etc. 2. All equipment shall meet energy star requirements or equivalent. 3. All supplies shall be braided flexible stainless steel. 4. All stops and traps shall be McGuire chrome plated brass.										

Checked by _____
Designed by _____
LAF
In Charge of _____

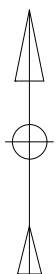


1 ELECTRICAL ONE BEDROOM UNIT - IMPROVEMENT PLAN
SCALE: 1/4" = 1'-0"



2 ELECTRICAL TWO BEDROOM UNIT - IMPROVEMENT PLAN
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
- ALL NOTES ON SHEET MEPOD1 APPLY TO THIS DRAWING.
 - PROVIDE THE FOLLOWING CIRCUIT CONDUCTORS BASED ON THE BREAKER RATINGS SHOWN IN THE PANELBOARD SCHEDULES:
 - 15A & 20A - #12AWG WITH #12AWG GND IN 3/4" CONDUIT
 - 30A - #10AWG WITH #10AWG GND IN 3/4" CONDUIT
 - 50A - #8AWG WITH #10AWG GND IN 3/4" CONDUIT
 - EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING OF WALLS, CEILINGS AND FLOORS AS NECESSARY FOR DEMOLITION AND NEW CONSTRUCTION ASSOCIATED WITH THEIR WORK. PROVIDE MATERIALS AND LABOR NECESSARY TO PATCH AFFECTED AREAS TO MATCH EXISTING. PATCHING SHALL BE DONE BY SKILLED CRAFTSMAN IN A MANNER CONSISTENT WITH EXISTING CONDITIONS. COORDINATE FINAL LAYOUT OF ALL FLOORBOXES, ELECTRICAL DEVICES, DATA/COMMUNICATION DEVICES AND FIXTURES WITH OWNER PRIOR TO ROUGH-IN.
 - SEE PANELBOARD SCHEDULES AND ONE-LINE DIAGRAMS FOR CIRCUIT DESIGNATIONS AND ADDITIONAL INFORMATIONS. DASHED LINES ON LIGHTING PLAN INDICATE LIGHTING CONTROL BRANCH CIRCUIT ONLY. SEE LIGHTING CONTROL DIAGRAM AND SCHEDULES FOR ADDITIONAL LIGHTING POWER/CONTROL WIRING REQUIRED.
 - ELECTRICAL BOXES OF ANY SIZE OR TYPE, PENETRATING A FIRE RATED MEMBRANE, SHALL BE UL LISTED TO MAINTAIN MEMBRANE FIRE RATING. OUTLET BOXES SHALL NOT BE INSTALLED BACK-TO-BACK AND MUST BE OFFSET A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES. PUTTY PADS OR BOX INSERTS MAY BE UTILIZED IF ASSEMBLY MAINTAINS UL LISTING.

- NEW WORK KEYED NOTES:
- PROVIDE NEW LIGHT FIXTURES PER SCHEDULE. PROVIDE NEW SWITCH, SWITCH LEG AND BRANCH CIRCUITRY FROM PANEL. TYPICAL.
 - PROVIDE 20A TAMPER PROOF GFCI KITCHEN RECEPTACLES. PROVIDE BRANCH CIRCUITRY FROM PANEL. TYPICAL.
 - PROVIDE COMBINATION SMOKE/CO DETECTOR SIMILAR TO BRK MODEL SC9120B, CIRCUIT AND BATTERY BACKUP ACCORDING TO SCHEDULE. ALL SMOKE/CO DETECTORS IN EACH UNIT SHALL BE INTERCONNECTED. TYPICAL.
 - PROVIDE NEW PANEL, FEEDERS, GROUNDING CONDUCTORS AND BRANCH CIRCUITS AS SHOWN. SEE PANEL SCHEDULE AND ONE-LINE DIAGRAM FOR MORE INFORMATION.
 - PROVIDE 120V, 20A TOGGLE DISCONNECT SWITCH, BRANCH CIRCUITRY FROM PANEL TO FURNACE. SEE PANEL SCHEDULES FOR ADDITIONAL INFORMATION.
 - PROVIDE HEAVY DUTY, CEILING FAN-RATED JUNCTION BOX FOR LIGHT FIXTURES IN BEDROOMS. TYPICAL.
 - PROVIDE TELEPHONE/DATA/TELEVISION DEVICES AND COAX/CAT6 HOMERUN TO DEMARCATION LOCATION. COORDINATE WITH WCHA FOR FINAL LOCATION. TYPICAL.
 - PROVIDE ENCLOSED CIRCUIT BREAKER AND FEEDER ACCORDING TO ONE-LINE DIAGRAM. COORDINATE ELECTRIC METER SOCKET INSTALLATION AND SERVICE CONDUCTOR/CONDUIT REWORK WITH UTILITY COMPANY.

WCHA
CHURCH VIEW COMMONS
ELECTRICAL ONE & TWO BEDROOM UNITS - MODIFICATION
PLANS

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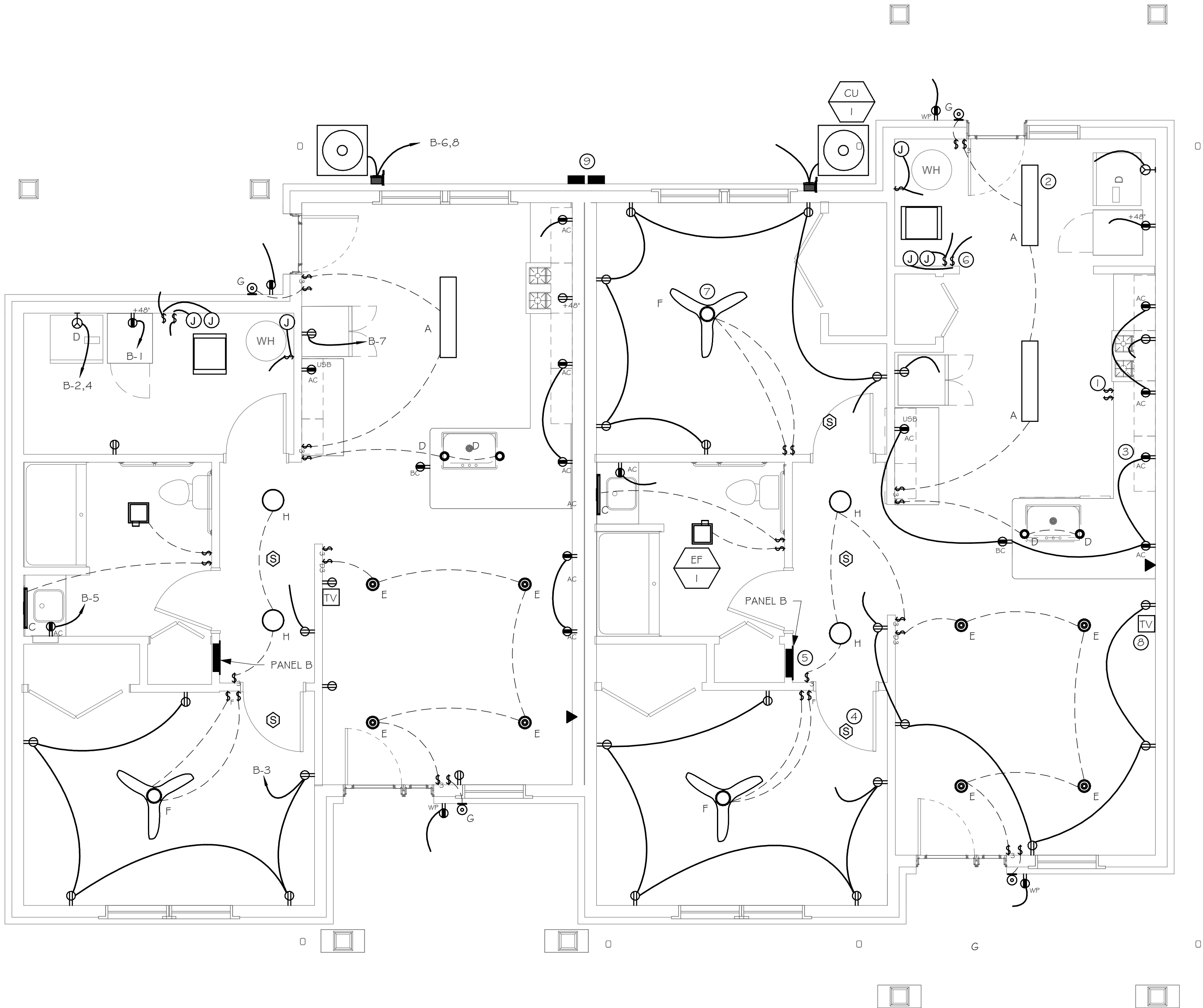
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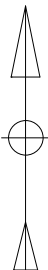
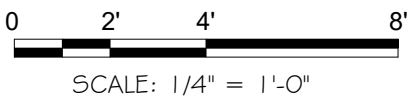
I ELECTRICAL UFAS FIRST FLOOR PLAN - NEW WORK
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- ALL NOTES ON SHEET MEP001 APPLY TO THIS DRAWING.
- PROVIDE THE FOLLOWING CIRCUIT CONDUCTORS BASED ON THE BREAKER RATINGS SHOWN IN THE PANELBOARD SCHEDULES:
 - 15A @ 20A - #12AWG WITH #12AWG GND IN 3/4" CONDUIT
 - 30A - #10AWG WITH #10AWG GND IN 3/4" CONDUIT
 - 80A - #4AWG WITH #8AWG GND IN 1-1/4" CONDUIT
- COORDINATE FINAL LAYOUT OF ALL FLOORBOXES, ELECTRICAL DEVICES, DATA/COMMUNICATION DEVICES AND FIXTURES WITH OWNER PRIOR TO ROUGH-IN.
- SEE PANELBOARD SCHEDULES AND ONE-LINE DIAGRAMS FOR CIRCUIT DESIGNATIONS AND ADDITIONAL INFORMATION.
- DASHED LINES ON LIGHTING PLAN INDICATE LIGHTING CONTROL BRANCH CIRCUIT ONLY. SEE LIGHTING CONTROL DIAGRAM AND SCHEDULES FOR ADDITIONAL LIGHTING POWER/CONTROL WIRING REQUIRED.
- ELECTRICAL BOXES OF ANY SIZE OR TYPE, PENETRATING A FIRE RATED MEMBRANE, SHALL BE UL LISTED TO MAINTAIN MEMBRANE FIRE RATING. OUTLET BOXES SHALL NOT BE INSTALLED BACK-TO-BACK AND MUST BE OFFSET A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES. PUTTY PADS OR BOX INSERTS MAY BE UTILIZED IF ASSEMBLY MAINTAINS UL LISTING.

NEW WORK KEYED NOTES:

- PROVIDE INDIVIDUAL 20A SWITCHES AND EXTENSION RINGS TO OPERATE HOOD LIGHT AND FAN SEPARATELY. PROVIDE POWER RECEPTACLE WITHIN CABINET ABOVE HOOD. PROVIDE 20A CIRCUIT FROM PANEL TO RANGE AND HOOD RECEPTACLE. PROVIDE ADDITIONAL BRANCH CIRCUITRY AS NECESSARY TO ACCOMMODATE HOOD AND SWITCH INSTALLATION.
- PROVIDE NEW LIGHT FIXTURES PER SCHEDULE. PROVIDE NEW SWITCH, SWITCH LEG AND BRANCH CIRCUITRY FROM PANEL. TYPICAL.
- PROVIDE 20A TAMPER PROOF GFCI KITCHEN RECEPTACLES MOUNTED IN ACCORDANCE WITH UFAS REQUIREMENTS. PROVIDE BRANCH CIRCUITRY FROM PANEL. TYPICAL.
- PROVIDE COMBINATION SMOKE/CO DETECTOR SIMILAR TO BRK MODEL 5C9120B, CIRCUIT AND BATTERY BACKUP ACCORDING TO SCHEDULE. ALL SMOKE/CO DETECTORS IN EACH UNIT SHALL BE INTERCONNECTED. TYPICAL.
- PROVIDE NEW PANEL AND MOUNT PER UFAS GUIDELINES. PROVIDE FEEDERS, GROUNDING CONDUCTORS AND BRANCH CIRCUITS AS SHOWN. SEE PANEL SCHEDULE AND ONE-LINE DIAGRAM FOR MORE INFORMATION.
- PROVIDE 120V, 20A TOGGLE DISCONNECT SWITCH, BRANCH CIRCUITRY FROM PANEL TO FURNACE. SEE PANEL SCHEDULES FOR ADDITIONAL INFORMATION.
- PROVIDE HEAVY DUTY, CEILING FAN-RATED JUNCTION BOX FOR LIGHT FIXTURES IN BEDROOMS. TYPICAL.
- PROVIDE TELEPHONE/DATA/TELEVISION DEVICES AND COAX/CAT6 HOMERUN TO DEMARCATION LOCATION. COORDINATE WITH WCHA FOR FINAL LOCATION. TYPICAL.
- PROVIDE ENCLOSED CIRCUIT BREAKER AND FEEDER ACCORDING TO ONE-LINE DIAGRAM. COORDINATE ELECTRIC METER SOCKET INSTALLATION AND SERVICE CONDUCTOR/CONDUIT REWORK WITH UTILITY COMPANY.



WCHA
CHURCH VIEW COMMONS

ELECTRICAL UFAS UNIT - MODIFICATION PLAN

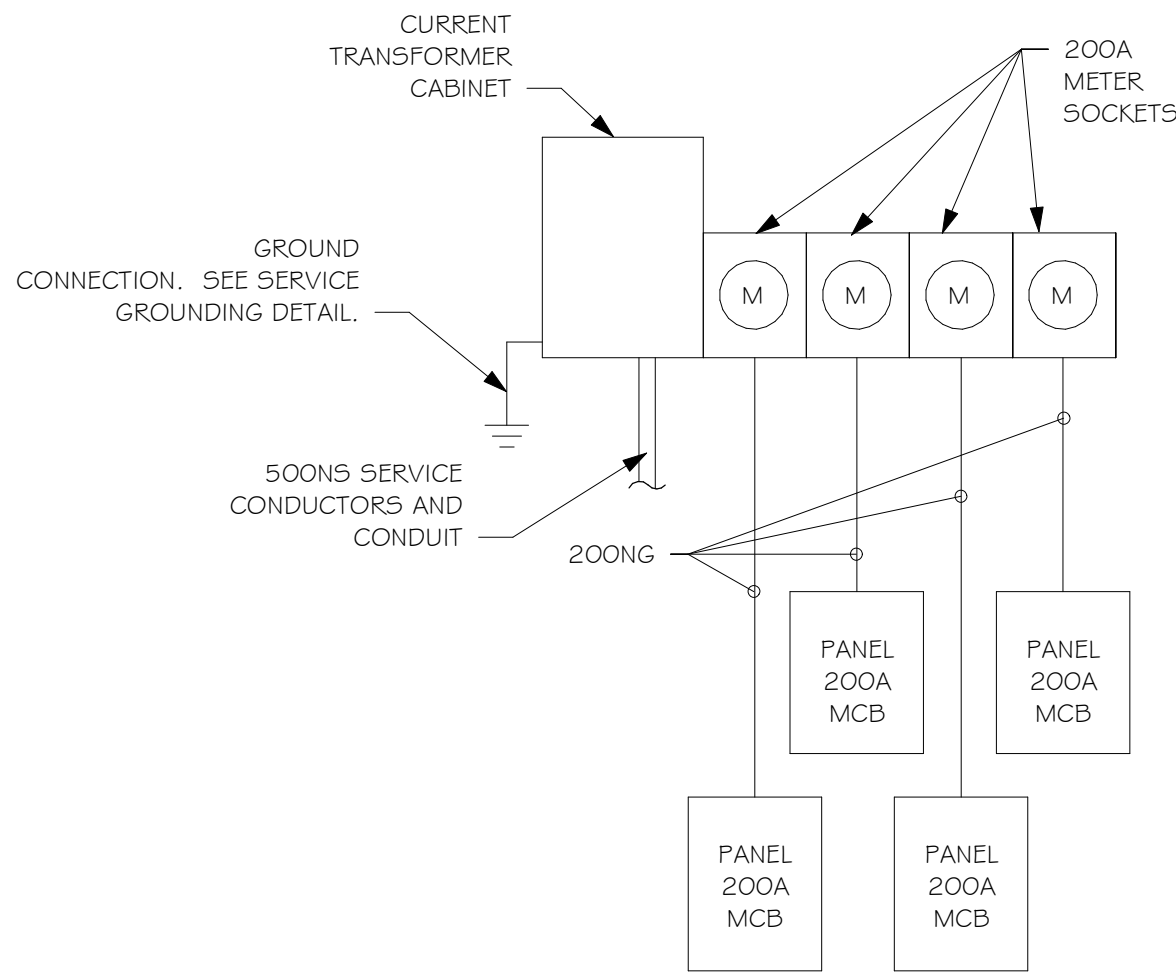
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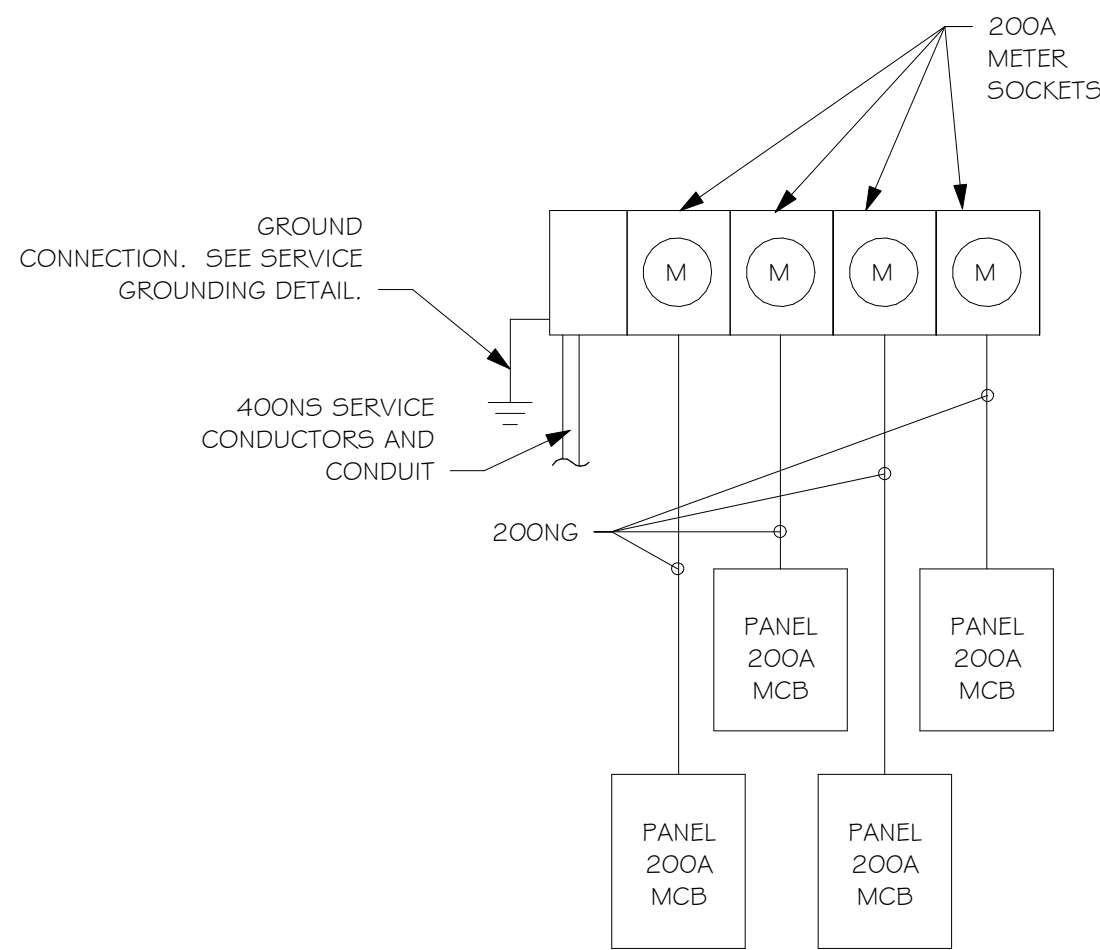
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PANEL SCHEDULE A													
PANEL SECTION	N/A	PANEL VOLTAGE (VOLTS)		120/240		PANEL NOTES:							
PANEL LOCATION	KITCHEN	PANEL BUS RATING (AMPS)		200		*PROVIDE COMBINATION GFCI/AFCI CIRCUIT BREAKER							
PANEL MOUNTING	Flush	FAULT CURRENT RATING (AIC)		10,000									
		MAIN CIRCUIT BREAKER (AMPS)		200									
CKT	CIRCUIT DESIGNATION	LOAD TYPE	CB RATING	CB POLES	A	B	A	B	CB POLES	CB RATING	LOAD TYPE	CIRCUIT DESIGNATION	CKT
1	SMALL APPLIANCE CKT 1	Recep...	20 A	1	540 VA		540 VA		1	20 A	Recep...	SMALL APPLIANCE CKT 2	2
3	LAUNDRY CKT	Recep...	20 A	1		800 VA		180 VA	1	20 A	Recep...	BATHROOM CKT	4
5	EXTERIOR RECEPTACLES	Recep...	20 A	1	360 VA		900 VA		1	20 A	Recep...	BEDROOM RECEPTACLES	6
7	BEDROOM RECEPTACLES	Recep...	20 A	1		900 VA		600 VA	1	20 A	Recep...	REFRIGERATOR	8
9	LIVING ROOM RECEPTACLES	Recep...	20 A	1	720 VA		360 VA		1	20 A	Recep...	LIVING ROOM / HALLWAY RECEPTACLES	10
11	DRYER	Recep...	30 A	2		2500 VA		200 VA	1	20 A	--	FIRE ALARM	12
13		--	--	--	2500 VA		419 VA		1	20 A	Lighting	LIGHTING	14
15	WATER HEATER	Power	30 A	2		2250 VA		1632 VA	2	20 A	HVAC	CONDENSING UNIT	16
17		--	--	--	2250 VA		1632 VA		--	--	--	--	18
19	FURNACE CKT 1	Power	30 A	2		2400 VA		5280 VA	2	60 A	Power	FURNACE CKT 2	20
21		--	--	--	2400 VA		5280 VA		--	--	--	--	22
23	GAS RANGE	Recep...	20 A	1		180 VA		2724 VA	2	20 A	HVAC	HVAC	24
25		--	--	--					--	--	--	--	26
27		--	--	--					--	--	--	--	28
29		--	--	--					--	--	--	--	30
LOAD CLASSIFICATION		CONNECTED LOAD		LOAD DEMAND FACTOR		CALCULATED LOAD							
LIGHTING		419 VA		100.00%		419 VA							
RECEPTACLE		11080 VA		95.13%		10540 VA							
MOTOR		5448 VA		100.00%		5448 VA							
HVAC		3264 VA		100.00%		3264 VA							

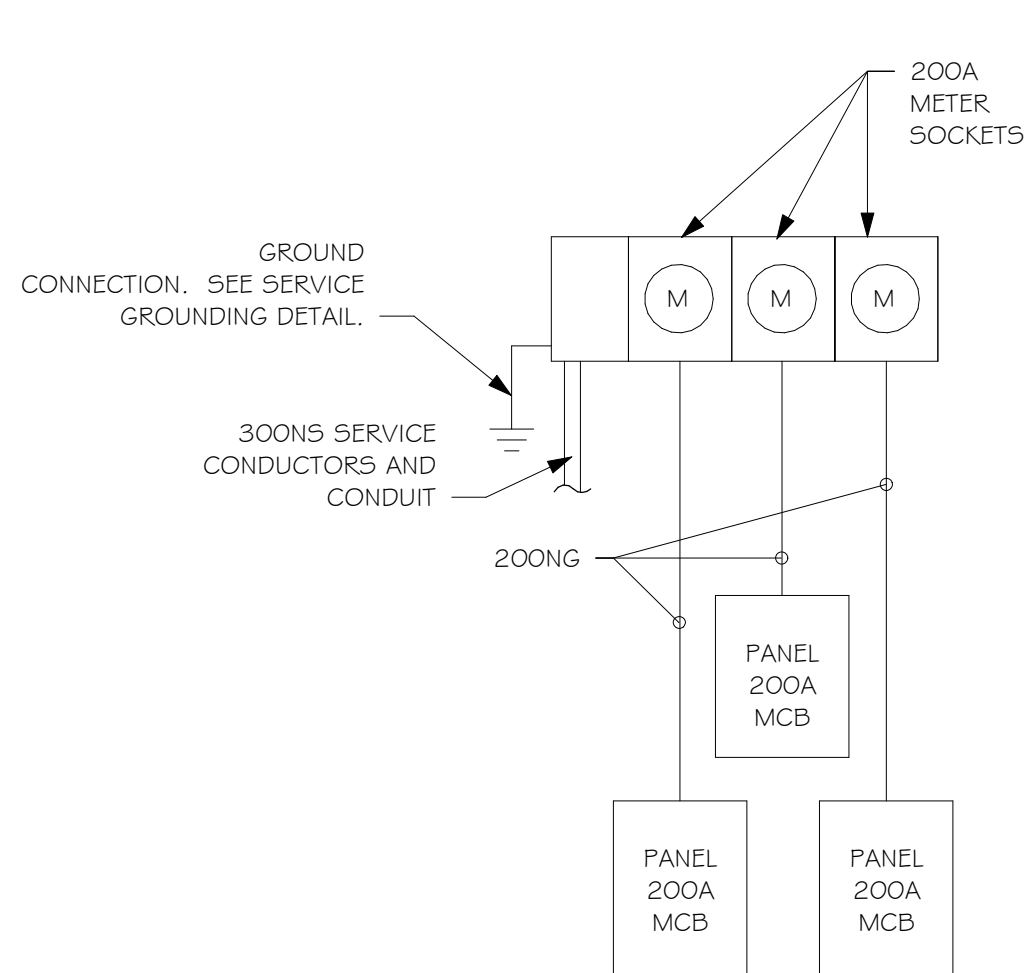
FEEDER SCHEDULE						
FEEDER DESIGNATION	CONDUCTOR SETS	CONDUCTOR SIZES			CONDUIT SETS	CONDUIT SIZE
		PHASE	NEUTRAL	GROUND		
20NG	1	#12	#12	#12	1	3/4"
30NG	1	#10	#10	#10	1	3/4"
40NG	1	#8	#8	#10	1	3/4"
50NG	1	#8	#8	#10	1	3/4"
60NG	1	#6	#6	#10	1	1"
200NG	1	3/0	3/0	#6	1	2"
200NS	1	3/0	3/0	#4	1	2"
300NS	1	350	350	1/0	1	3"
400NS	1	500	500	1/0	1	4"
500NS	2	4/0	4/0	#2	1	2-1/2"
NOTES: 1. REFER TO SHEET MEP001 FOR CONDUIT TYPES. 2. FEEDERS MAY HAVE BEEN UPSIZED TO ACCOUNT FOR VOLTAGE DROP. 3. ALL CONDUCTORS SHALL BE COPPER. 4. CONDUCTORS FOR MULTIPLE CIRCUITS MAY BE GROUPED AS PERMITTED BY THE NEC. INCREASE CONDUCTOR AND CONDUIT SIZES ACCORDINGLY. 5. ALL 20A CIRCUITS SHALL USE FEEDER 20NG UNLESS NOTED OTHERWISE. 6. ALL 30A CIRCUITS SHALL USE FEEDER 30NG UNLESS NOTED OTHERWISE. 7. FEEDER SIZES SHALL BE CONTINUED AS IDENTIFIED THROUGHOUT CIRCUIT UNLESS SPECIFICALLY CHANGED.						



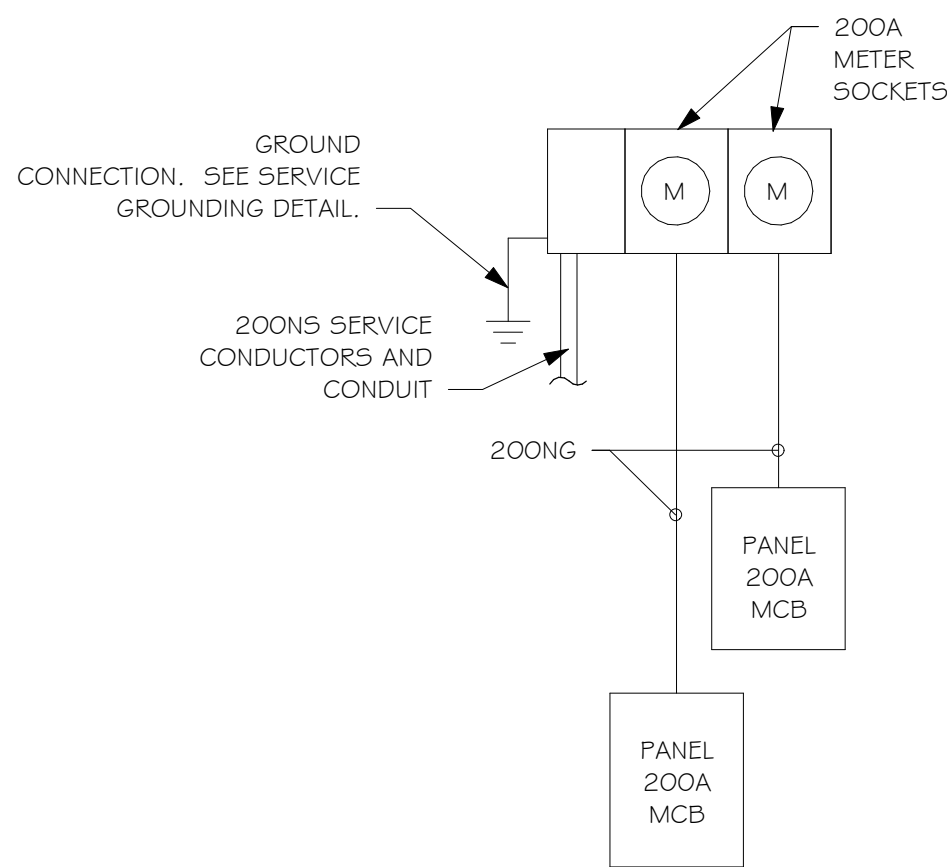
1 ELECTRICAL ONE-LINE DIAGRAM - 5 UNITS
SCALE: NONE



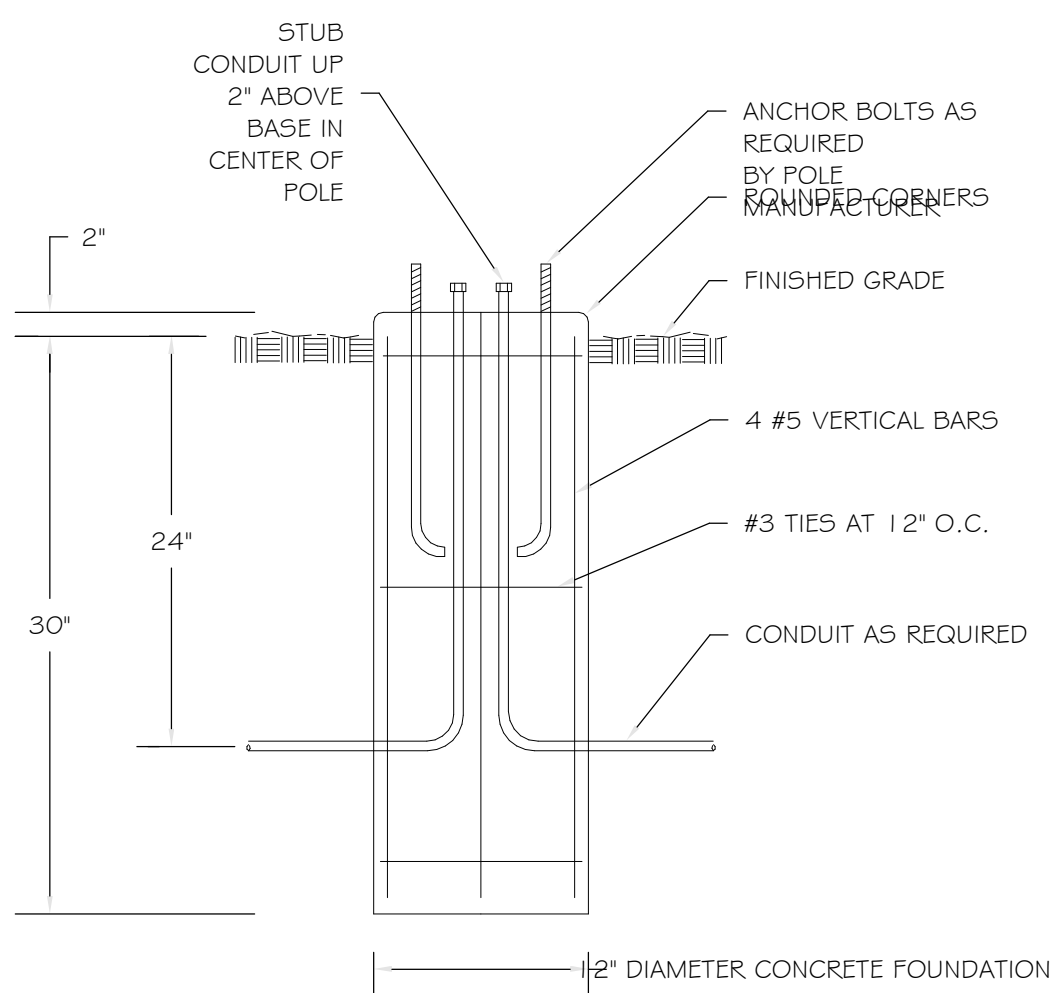
2 ELECTRICAL ONE-LINE DIAGRAM - 4 UNITS
SCALE: NONE



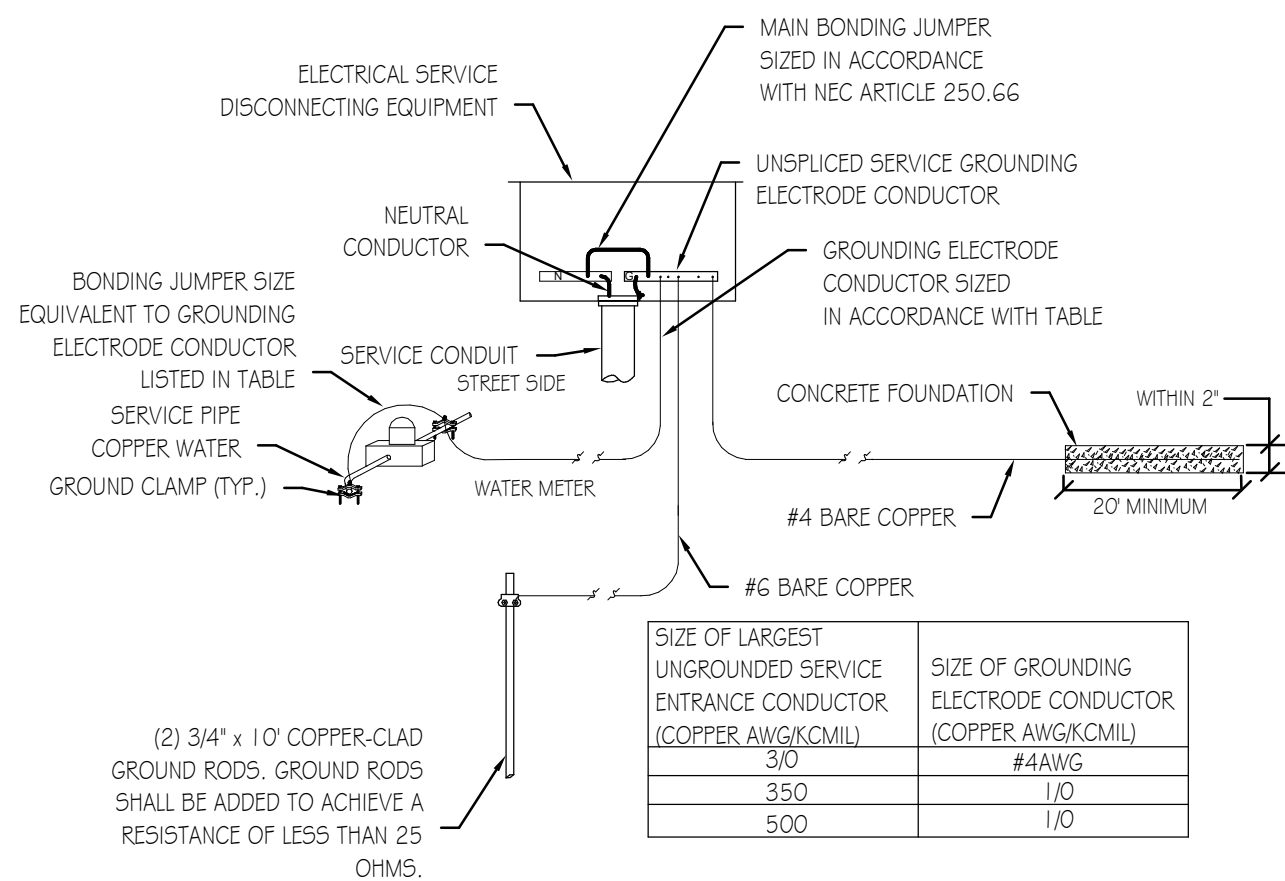
3 ELECTRICAL ONE-LINE DIAGRAM - 3 UNITS
SCALE: NONE



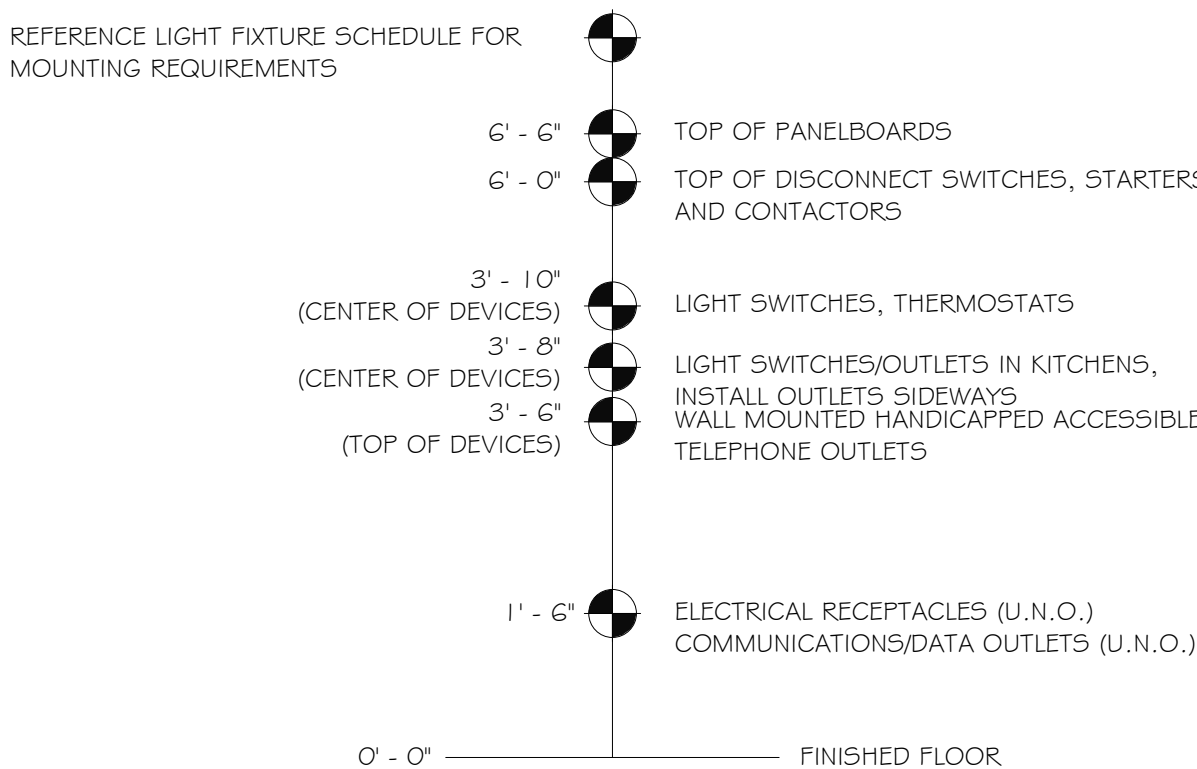
4 ELECTRICAL ONE-LINE DIAGRAM - 2 UNITS
SCALE: NONE



5 LIGHT POLE MOUNTING DETAIL
SCALE: NONE



6 SERVICE GROUNDING DETAIL
SCALE: NONE



7 ELECTRICAL MOUNTING HEIGHT DETAIL
SCALE: NONE