



NEW STANTON MANOR PA-18-27 EXTERIOR RENOVATIONS

PREPARED FOR

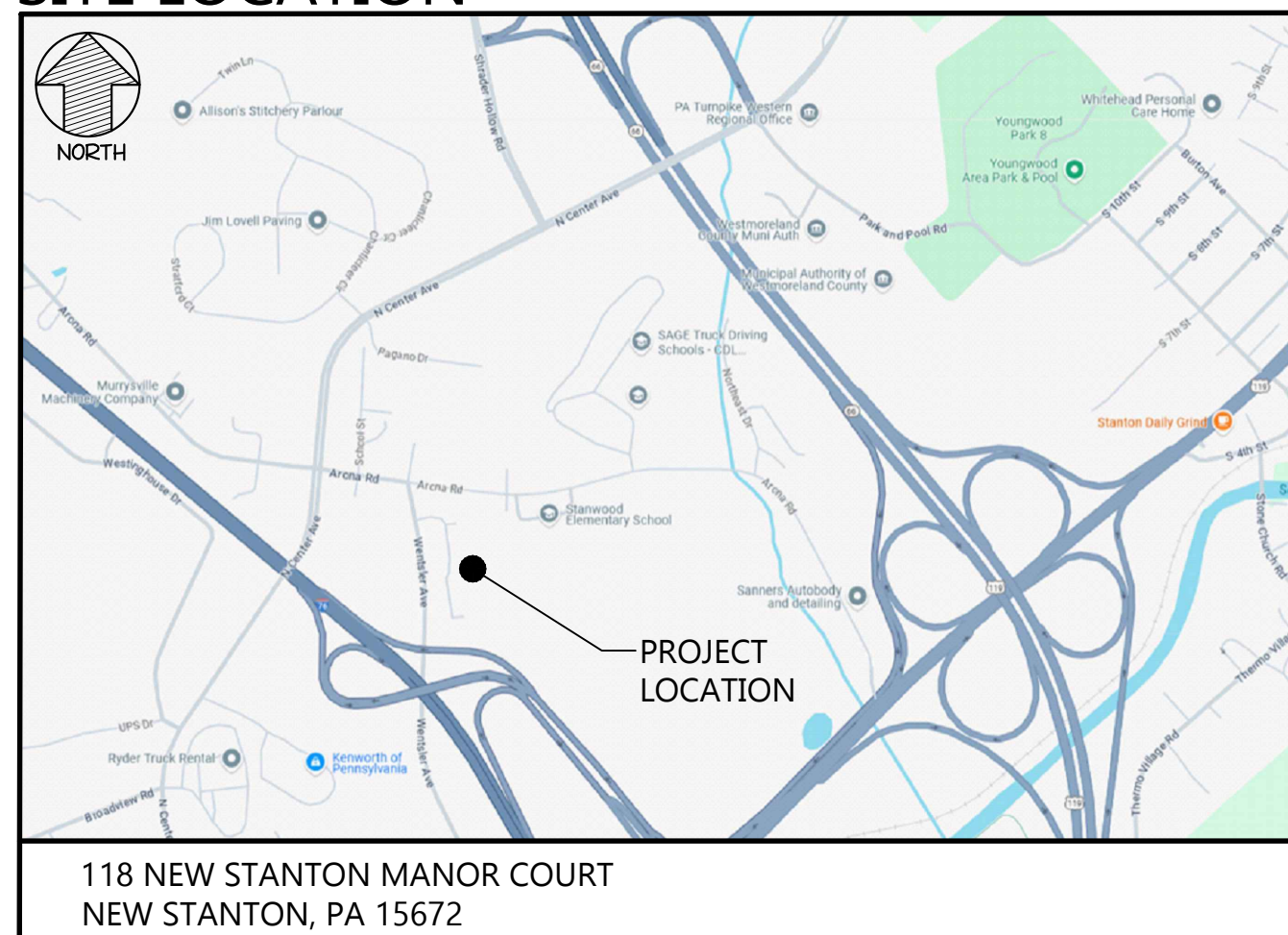
WESTMORELAND COUNTY HOUSING AUTHORITY
167 GREENGATE ROAD
GREENSBURG, PA 15602

DECEMBER 13, 2024
R24-077-01

ISSUED FOR BIDDING



SITE LOCATION



DRAWING LIST

G0.01 COVER SHEET

Architectural

- A1.00 OVERALL SITE PLAN
- A1.01 FOUNDATION & BASEMENT FLOOR PLANS - BUILDING A
- A1.02 FIRST & SECOND FLOOR PLANS - BUILDING A
- A1.03 FOUNDATION & BASEMENT FLOOR PLANS - BUILDING B
- A1.04 FIRST & SECOND FLOOR PLANS - BUILDING B
- A1.05 FOUNDATION & BASEMENT FLOOR PLANS - BUILDING C
- A1.06 FIRST & SECOND FLOOR PLANS - BUILDING C
- A1.07 PLANS & ELEVATIONS - COMMUNITY BUILDING
- A2.01 ELEVATIONS - BUILDING A
- A2.02 ELEVATIONS - BUILDING B
- A2.03 ELEVATIONS - BUILDING C
- A4.01 WALL SECTIONS
- A5.01 DETAILS
- A8.01 WINDOW TYPES & DETAILS

SLEIGHTER
DESIGN

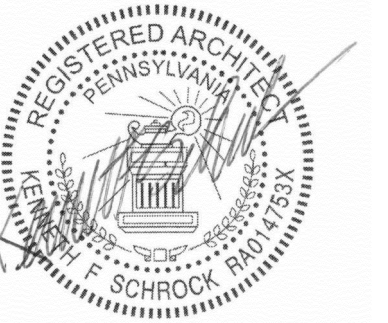
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SEAL



PROJECT

NEW STANTON MANOR EXTERIOR RENOVATIONS

OWNER

**WESTMORELAND
COUNTY
HOUSING
AUTHORITY**

PROJECT NUMBER

R24-077-01

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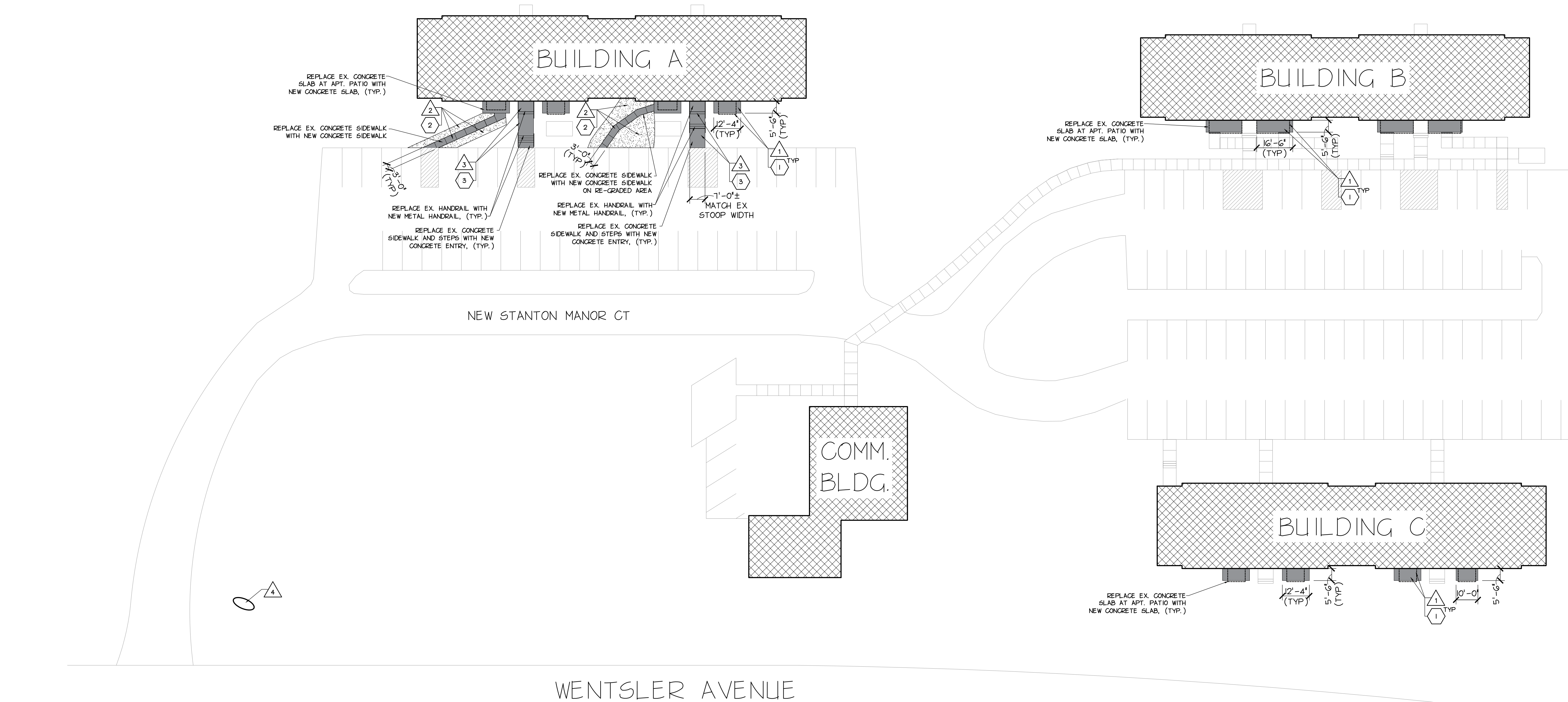
DECEMBER 13, 2024

SHEET NAME

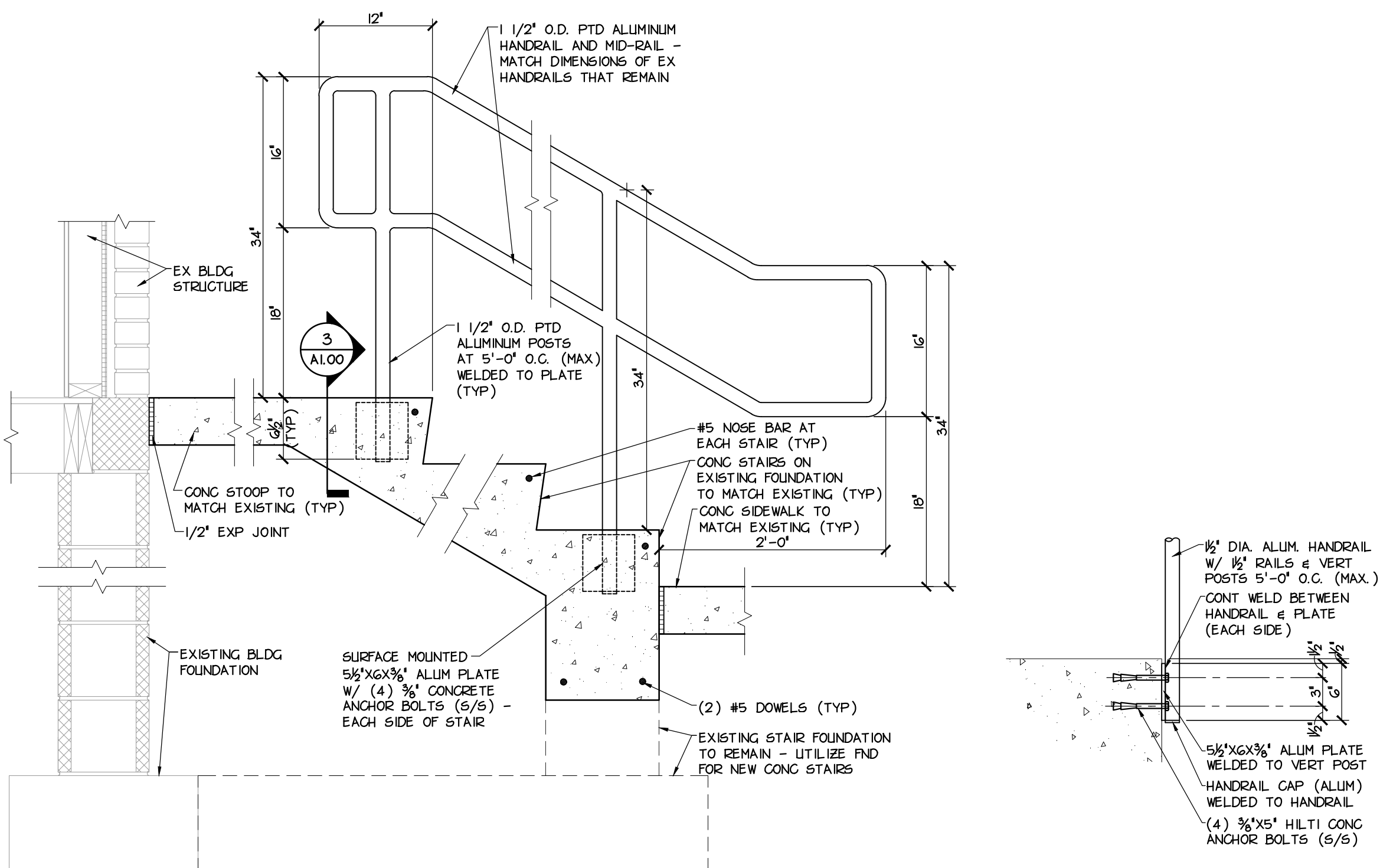
OVERALL SITE PLAN

SHEET NUMBER

A1.00



1 OVERALL SITE PLAN A1.00 SCALE: NOT TO SCALE



2 HANDRAIL SECTION A1.00 SCALE: 1" = 1'-0"

3 HANDRAIL DETAIL A1.00 SCALE: 1" = 1'-0"

△ SITE DEMOLITION NOTES

1. GENERAL CONTRACTOR TO REMOVE EXISTING REINFORCED CONCRETE SLAB-ON-GRADE ALONG WITH CONCRETE FROST WALL AND RELATED REINFORCING AT PATIOS. PREPARE AREA FOR INSTALLATION OF BALCONY FOUNDATIONS AS PART OF NEW WORK.
2. GENERAL CONTRACTOR TO REMOVE EXISTING CONCRETE SIDEWALK. REMOVE PARTS OF TREE ROOTS AND STUMP LEFT FROM PREVIOUSLY REMOVED TREE. RE-GRADE AREA TO ACHIEVE PROPER WATER DRAINAGE AWAY FROM BUILDING AND PATIO. PROVIDE CONCRETE SIDEWALK TO ALIGN WITH EXISTING CONDITIONS AT PATIO AND PARKING LOT AS PART OF NEW WORK.
3. GENERAL CONTRACTOR TO REMOVE EXISTING REINFORCED CONCRETE STAIRS, SIDEWALK AND STOOP ALONG WITH HANDRAIL AND RELATED FASTENERS. FOUNDATION FOR STOOPS ARE TO REMAIN. PROVIDE NEW REINFORCED CONCRETE STAIRS, SIDEWALK AND STOOP ALONG WITH HANDRAILS AS PART OF NEW WORK. ENSURE THAT PROPER ALIGNMENT AT ENTRY DOOR THRESHOLD AND PARKING LOT ARE MAINTAINED.
4. GENERAL CONTRACTOR TO CLEAN AND REMOVE DIRT AND RESIDUE FROM WCHA SITE SIGN/STONE. ENSURE THAT STONE IS SECURELY SEATED ON COMPACTED SOIL.

○ SITE CONSTRUCTION NOTES

1. GC TO PROVIDE CONCRETE SLAB ON GRADE (PATIO) AS INDICATED ON BUILDING PLAN SHEETS A1.01, A1.03, A1.05. PROVIDE COMPACTED BACKFILL AT AREAS OF OVER-EXCAVATION. PROVIDE 6" GRAVEL APRON AT PERIMETER OF PATIO UNLESS INDICATED OTHERWISE ON PLANS. ENSURE THAT SLAB SLOPES AWAY FROM EXISTING DOOR THRESHOLD.
2. GC TO PROVIDE CONCRETE SIDEWALK (36" WIDE) FROM PARKING LOT TO CONCRETE SLAB ON GRADE (PATIO). MATCH EXISTING CONDITIONS TO ENSURE ALIGNMENT.
3. GC TO PROVIDE CONCRETE STAIRS, SIDEWALK AND STOOP ALONG WITH HANDRAILS WHERE INDICATED ON THE SITE PLAN. ENSURE THAT HANDRAILS MEET REQUIREMENTS FOR THE NUMBER OF EXISTING TREADS AT EACH STAIR. GC TO PROVIDE ALL RELATED FASTENERS TO ENSURE A SECURE AND PLUMB INSTALLATION. MATCH EXISTING CONDITIONS FOR PROPER ALIGNMENT WITH BUILDING ENTRY DOOR THRESHOLD AND PARKING LOT. SEE HANDRAIL DETAIL 2 ON THIS SHEET.

GENERAL SITE NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO: DIMENSIONS, WINDOW SIZES, EXTERIOR MASONRY, SIDEWALK, STAIR, HANDRAILS AND AREAS OF NEW WORK. CONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS TO DETERMINE THE FULL SCOPE OF WORK REQUIRED.
2. DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTIONS OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK. CONTRACTORS ARE TO REFER TO THE SPECIFICATIONS FOR THE WRITTEN REQUIREMENTS FOR MATERIALS, EQUIPMENT, CONSTRUCTION SYSTEMS, STANDARDS FOR WORKMANSHIP OF THE WORK, AND PERFORMANCE OF RELATED SERVICES.
3. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTORS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
4. DO NOT SCALE DRAWINGS.
5. ALL DIMENSIONS INDICATED ON DRAWINGS ARE TAKEN TO THE FINISHED SURFACE.
6. ALL WORK NOTED ON THE DRAWINGS IS TO BE DONE BY THE GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
7. WHERE INDICATED, "PROVIDE" MEANS TO "FURNISH AND INSTALL".
8. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR SUBMISSION OF ANY SHOP DRAWINGS. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT UPON DISCOVERY.
9. IF THERE IS A CONFLICT ON THE DRAWINGS, THE CONTRACTOR SHALL PROVIDE THE GREATER QUANTITY OR THE GREATER QUALITY.

GENERAL SITE DEMOLITION NOTES

1. ALL DEMOLITION DEBRIS, WASTE MATERIAL, EXCESS FILL, TREES, LIMBS, ROOTS, RUBBISH, AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED.
2. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ROLL-OFF BOX(ES) AND/OR OTHER SUITABLE MEANS TO COLLECT AND CONTAINERIZE DEMOLITION MATERIALS.
3. THE GENERAL CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF SITE DISPOSAL FACILITY, ALL ROLL-OFF BOX(ES) AND/OR DUMPSTER(S) WHEN FULL. THIS MAY INCLUDE BUT NOT BE LIMITED TO BUILDING AND SITE DEMOLITION DEBRIS.
4. THE OWNER SHALL BE GIVEN THE OPPORTUNITY TO COLLECT AND RETAIN AT THEIR FACILITY ANY ITEMS TO BE REMOVED ON THIS PROJECT. THIS MAY INCLUDE BUT NOT BE LIMITED TO DOORS, DOOR HARDWARE, WINDOWS, WINDOW HARDWARE, ELECTRICAL FIXTURES, APARTMENT NUMBERS, MAILBOXES, ETC. CONTRACTOR(S) SHALL COORDINATE DEMOLITION WORK WITH, AND NOTIFY THE OWNER, PRIOR TO REMOVAL OF ITEMS FROM SITE.
5. EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK, INCLUDING, BUT NOT LIMITED TO, ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. CONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS TO DETERMINE THE FULL SCOPE OF WORK REQUIRED.
6. FURNISH PROTECTION FROM ELEMENTS FOR AREAS WHICH MAY BE EXPOSED BY UNCOVERING WORK. CONTRACTORS SHALL CONFINE ALL WORK, EQUIPMENT AND MATERIALS TO THE DESIGNATED WORK AREA.
7. GC TO PATCH AND/OR REPAIR PORTIONS OF EXISTING SURFACES WHICH ARE DAMAGED, LIFTED, DISLOADED OR SHOWING OTHER IMPERFECTIONS DUE TO THEIR WORK.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION UNLESS SPECIFICALLY INDICATED TO BE COMPLETED BY ELECTRICAL CONTRACTOR.
9. PROVIDE TEMPORARY SUPPORT TO ENSURE STRUCTURAL INTEGRITY OF THE WORK. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE. PROVIDE TEMPORARY, SAFE ACCESS TO APARTMENTS DURING CONSTRUCTION.
10. DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTIONS OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK. CONTRACTORS ARE TO REFER TO THE SPECIFICATIONS FOR THE WRITTEN REQUIREMENTS FOR MATERIALS, EQUIPMENT, CONSTRUCTION SYSTEMS, STANDARDS FOR WORKMANSHIP OF THE WORK, AND PERFORMANCE OF RELATED SERVICES.
11. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTORS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.

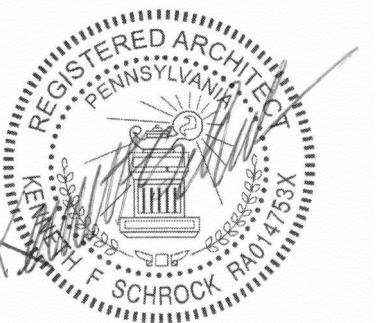


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GENERAL DEMOLITION NOTES

- ALL DEMOLITION DEBRIS, WASTE MATERIAL, EXCESS FILL, TREES, LIMBS, ROOTS, RUBBISH, AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ROLL-OFF BOX(ES) AND/OR OTHER SUITABLE MEANS TO COLLECT AND CONTAINERIZE DEMOLITION MATERIALS.
- THE GENERAL CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF SITE DISPOSAL FACILITY, ALL ROLL-OFF BOX(ES) AND/OR DUMPSTER(S) WHEN FULL. THIS MAY INCLUDE BUT NOT BE LIMITED TO BUILDING AND SITE DEMOLITION DEBRIS.
- THE OWNER SHALL BE GIVEN THE OPPORTUNITY TO COLLECT AND RETAIN AT THEIR FACILITY ANY ITEMS TO BE REMOVED ON THIS PROJECT. THIS MAY INCLUDE BUT NOT BE LIMITED TO WINDOWS, WINDOW HARDWARE, ETC. CONTRACTOR(S) SHALL COORDINATE DEMOLITION WORK WITH, AND NOTIFY THE OWNER, PRIOR TO REMOVAL OF ITEMS FROM SITE.
- EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK, INCLUDING, BUT NOT LIMITED TO, ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS.
- FURNISH PROTECTION FROM ELEMENTS FOR AREAS WHICH MAY BE EXPOSED BY UNCOVERING WORK. CONTRACTORS SHALL CONFINE ALL WORK, EQUIPMENT AND MATERIALS TO THE DESIGNATED WORK AREA.
- GC TO PATCH AND/OR REPAIR PORTIONS OF EXISTING SURFACES WHICH ARE DAMAGED, LIFTED, DISCOLORED OR SHOWING OTHER IMPERFECTIONS DUE TO THEIR WORK.
- PROVIDE TEMPORARY SUPPORT TO ENSURE STRUCTURAL INTEGRITY OF THE WORK. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.
- GC TO REMOVE WITH CARE EXISTING SIGNAGE, BUILDING NUMBER AND APARTMENT NUMBERS PRIOR TO MASONRY RESTORATION TO ALLOW ACCESS TO ALL FINISHES. INFILL EXISTING HOLES IN MASONRY AS PART OF RESTORATION. INSTALL (UPON COMPLETION OF RESTORATION) NEW BUILDING & APARTMENT NUMBERS AND FACILITY SIGN AS PART OF NEW WORK.
- GC TO REMOVE DAMAGED OR ROTTEN EXTERIOR WALL SHEATHING, WOOD FRAMING, INSULATION BOARD, BATT INSULATION, GYPSUM WALL BOARD, SEALANT, ROOF FRAMING AND ROOF SHEATHING UNCOVERED DURING THEIR WORK. PROVIDE UNIT PRICE PER QUANTITY AS INDICATED IN SPECIFICATION SECTION 01210.
- GC TO REMOVE BROKEN OR DAMAGED BRICK ALONG WITH MORTAR BACK TO NEAREST JOINT. CLEAN AND PREPARE AREA OF REMOVAL FOR BRICK INFILL AS PART OF NEW WORK. CLEAN ALL BRICK AND MORTAR OF STAIN, PAINT, DIRT, ETC. AND PREPARE SURFACE FOR SEAL AS PART OF NEW WORK.
- GC TO REMOVE SEALANT FROM EXISTING MASONRY CONTROL JOINT. CLEAN AND PREPARE JOINT FOR INSTALLATION OF SEALANT AND BACKER ROD AS PART OF NEW WORK.
- GC TO REMOVE EXISTING GUTTERS AND DOWNSPOUTS ALONG WITH RELATED HANGERS AND FASTENERS AT ALL BUILDINGS. PROVIDE CONTINUOUS ALUM GUTTERS, DOWNSPOUTS, HANGERS AND FASTENERS AS PART OF NEW WORK.
- GC TO REMOVE EXISTING SIDING ALONG WITH FASTENERS AND TRIM AT GABLE ENDS OF ALL BUILDINGS. REPLACE ANY DAMAGED OR ROTTEN MATERIALS. PREPARE EXTERIOR SHEATHING FOR INSTALLATION OF NEW ALUM SIDING, FASTENERS AND TRIM AS PART OF NEW WORK.
- GC TO REMOVE EXISTING BALCONIES IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO FRAMING, DECKING, RAILING AND RELATED FASTENERS/HANGERS. ENSURE THAT CARE IS GIVEN WITH REMOVING FRAMING FROM EXISTING STRUCTURE. SAW-CUT SUPPORTS THAT EXTEND INTO EXISTING FLOOR STRUCTURE FLUSH WITH EXTERIOR SHEATHING. CLEAN AREA OF ALL DIRT AND DEBRIS AND PREPARE FOR INSTALLATION OF BALCONY STRUCTURE AS PART OF NEW WORK.
- GC TO REMOVE EXISTING BRICK INFILL, MASONRY LINTEL, FLASHING, FASTENERS AND SEALANTS ABOVE HEAD OF BASEMENT AND FIRST FLOOR PATIO/BALCONY DOORS. REMOVE DEBRIS AND PREPARE OPENING FOR COMPOSITE PANEL ON STUD INFILL AS PART OF NEW WORK.
- GC TO REMOVE EXISTING THRU-WALL HVAC UNIT SLEEVE AND COVER ALONG WITH RELATED FASTENERS. CLEAN AND PREPARE OPENING FOR INSTALLATION OF BLANK PANEL INFILL AS PART OF NEW WORK. WHERE EXISTING HVAC UNITS ARE FOUND TO BE IN PLACE AND OPERATIONAL, CONTACT OWNER AND ARCHITECT.

GENERAL NOTES

- ALL DEMOLITION DEBRIS, WASTE MATERIAL, RUBBISH AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED, MAINTAIN ROLL-OFF BOXES OR OTHER SUITABLE MEANS TO COLLECT AND CONTAINERIZE DEMOLITION MATERIALS.
- CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF-SITE FACILITY, ALL ROLL-OFF BOXES AND/OR DUMPSTERS WHEN FULL.
- CONTRACTOR SHALL EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK, INCLUDING BUT NOT LIMITED TO ELEMENTS OF BUILDING AND SITE SUBJECT TO DAMAGE AS A RESULT OF ROOF WORK.
- FURNISH PROTECTION FROM ELEMENTS FOR AREAS WHICH MAY BE EXPOSED BY UNCOVERING WORK.
- RESTORE ALL AREAS OF THE SITE AND BUILDING(S) NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITIES UPON COMPLETION OF CONSTRUCTION WORK.
- BUILDING TYPES AND QUANTITIES ARE SHOWN TO ASSIST THE CONTRACTORS IN BIDDING WORK. HOWEVER, MINOR VARIATIONS IN THE BUILDING TYPES ARE TO BE EXPECTED, THE CONTRACTOR IS TO INSPECT AND VERIFY ALL QUANTITIES IN THE FIELD PRIOR TO BIDDING.
- REFER TO SHEET A8.01 FOR WINDOW TYPES AND DETAILS.
- GC TO PROVIDE BUILDING NUMBERS AND APARTMENT NUMBERS. VERIFY ALL LOCATIONS WITH OWNER. PROVIDE FASTENERS FOR ADEQUATE ATTACHMENT TO BUILDING MATERIAL.
- GC TO REPLACE ANY DAMAGED OR ROTTEN ROOF SHEATHING, ROOF FRAMING, WALL SHEATHING, WALL FRAMING, BATT INSULATION AND/OR RIGID INSULATION DISCOVERED. PROVIDE UNIT PRICING AS DEFINED IN SPECIFICATION SECTION 01210.
- GC TO REPLACE ALL DAMAGED, CRACKED, OR STAINED BRICK NOT ABLE TO BE CLEANED, ALONG WITH MORTAR, TO MATCH EXISTING ADJACENT BRICK. PROVIDE WATER-TIGHT INFILL TO ENSURE A SEAMLESS INSTALLATION. CLEAN AND SEAL ALL BRICK VENEER.
- GC TO PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT EXISTING MASONRY CONTROL JOINTS.
- GC TO PROVIDE CONTINUOUS GUTTERS, DOWNSPOUTS, HANGERS AND RELATED FASTENERS. CONNECT TO EXISTING DOWNSPOUT BOOTS AT GRADE. ENSURE A WATER-TIGHT INSTALLATION OF COLLECTION ASSEMBLY.
- GC TO PROVIDE ALUMINUM SIDING ALONG WITH HOUSE WRAP, TRIM, FASTENERS AND CONTINUOUS FLASHING ALONG TOP OF BRICK AT BUILDING GABLE ENDS. REPLACE ANY DAMAGED/ROTTEN SHEATHING, INSULATION, BLOCKING AND/OR FRAMING AS PART OF THE THIS INFILL. TRIM AND SEAL PERIMETER TO ENSURE PROPER WATER-TIGHT INSTALLATION. LIMIT DISTURBANCE TO ADJACENT EXISTING FINISHES.
- GC TO PROVIDE BALCONIES AND PATIOS AS INDICATED ON PLANS, ELEVATIONS AND WALL SECTIONS. BALCONIES AND PATIOS ARE TO INCLUDE BUT NOT LIMITED TO FOUNDATIONS, CONCRETE SLAB, CONCRETE PIERS, STEEL COLUMNS, BEAMS, JOISTS, COMPOSITE DECKING, VINYL RAILING SYSTEM AND ALL RELATED HANGERS AND FASTENERS.
- GC TO PROVIDE COMPOSITE BOARD INFILL ABOVE HEAD OF BASEMENT AND FIRST FLOOR PATIO AND BALCONY DOORS ALONG WITH FLASHING AND CONT SEALANT AT PERIMETER. ENSURE WATER-TIGHT SEAL AT INFILL.
- GC TO PROVIDE METAL BLANK-OFF PANEL LOUVER AT ALL EXISTING HVAC MASONRY OPENINGS. PROVIDE SHEATHING, STUD FRAMING, BLOCKING AND INSULATION AT THE OPENING INFILL. ENSURE WATER-TIGHT SEAL ALONG PERIMETER AT INFILL.
- GC TO PROVIDE NEW FOUNDATION DRAIN PIPING WHERE CONCRETE FOUNDATIONS INTERRUPT CONTINUOUS RUN. ENSURE PROPER PITCH ALONG WITH WATER-TIGHT CONNECTION TO EXISTING PIPING. MATCH SIZE AND TYPE OF EXISTING FOUNDATION DRAIN PIPE.
- REFER TO A1.00 OVERALL SITE PLAN FOR SITE DEMOLITION AND CONSTRUCTION.
- IF THERE IS A CONFLICT ON THE DRAWINGS, THE CONTRACTOR SHALL PROVIDE THE GREATER QUANTITY OR THE GREATER QUALITY.

PROJECT

NEW STANTON MANOR EXTERIOR RENOVATIONS

OWNER

WESTMORELAND COUNTY HOUSING AUTHORITY

PROJECT NUMBER

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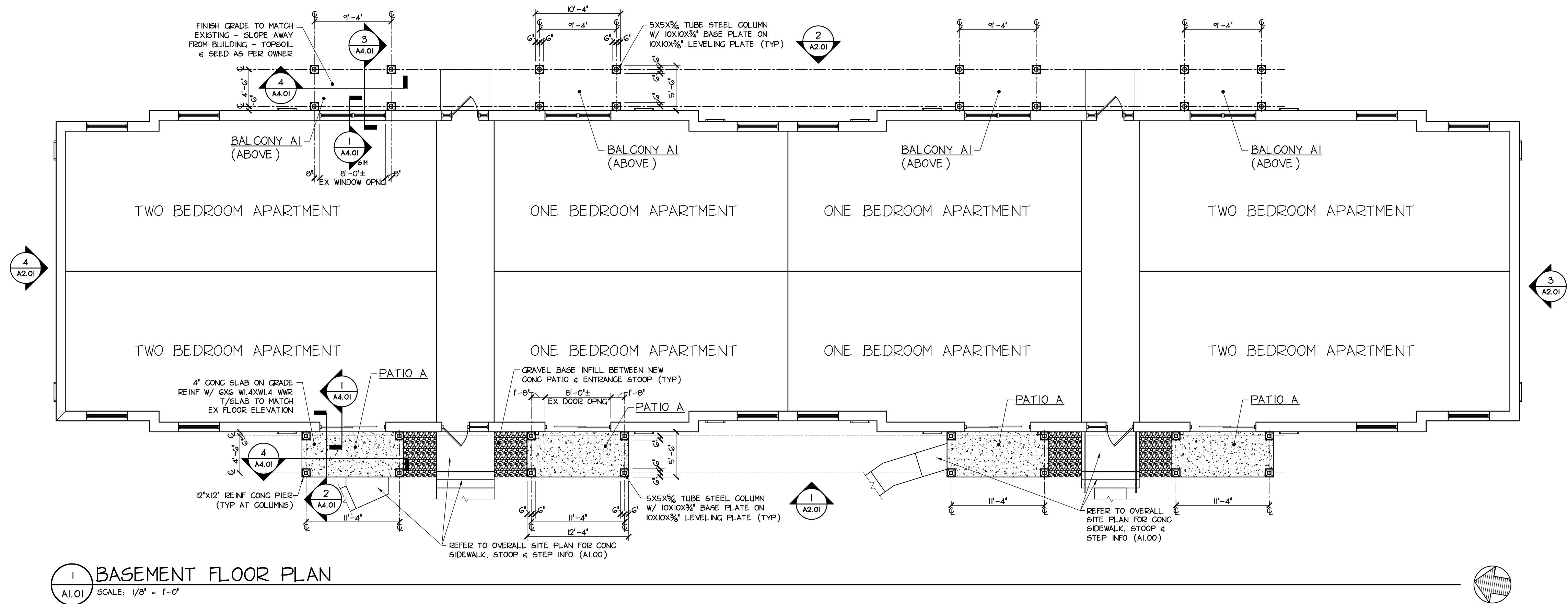
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SHEET NAME

FND & BASEMENT FLR PLANS BLDG A

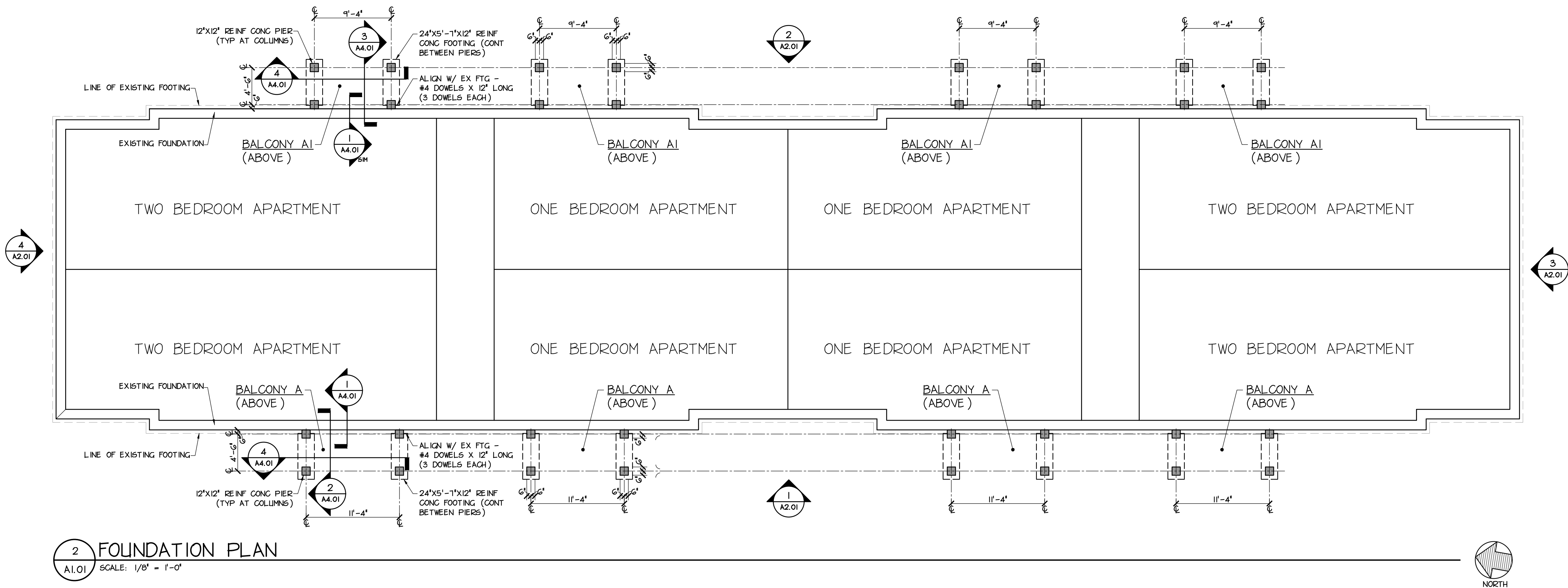
SHEET NUMBER

A1.01



1 BASEMENT FLOOR PLAN

A1.01 SCALE: 1/8\"/>



2 FOUNDATION PLAN

A1.01 SCALE: 1/8\"/>

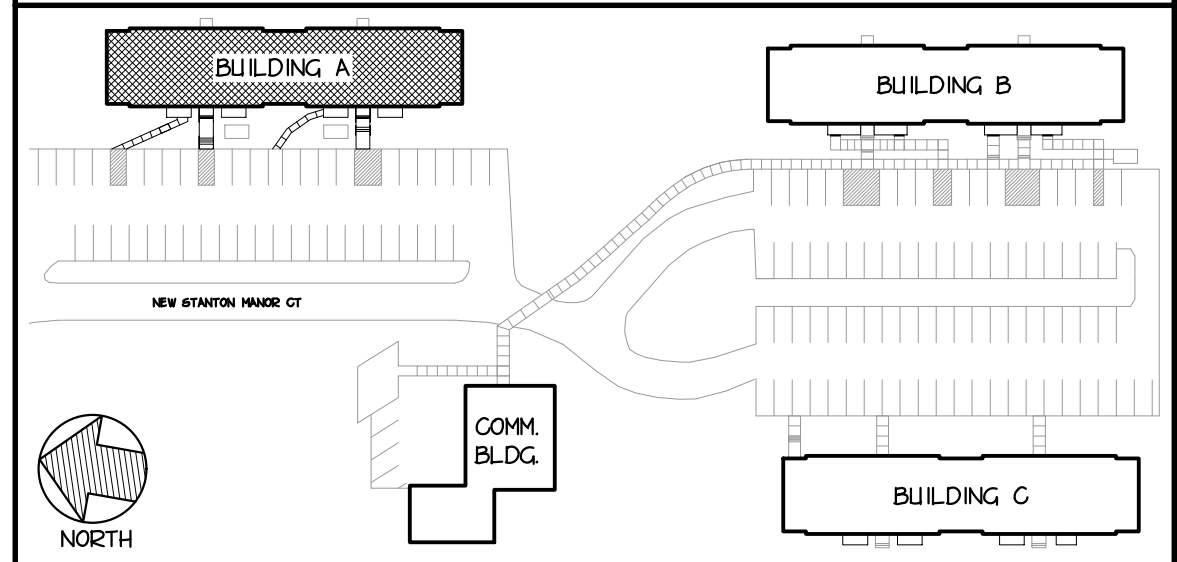
DEMOLITION NOTES

- GC TO REMOVE EXISTING WINDOWS ALONG WITH RELATED TRIM AND BLOCKING. LIMIT DISTURBANCE TO EXISTING ADJACENT GMB. REMOVE EXISTING WINDOW COVERINGS/BLINDS ALONG WITH HANGERS AND FASTENERS WITH CARE. SET ASIDE FOR INSTALLATION AS PART OF NEW WORK. CLEAN AND PREPARE EXISTING OPENING FOR NEW WORK.
- AT COMMUNITY BUILDING, GC TO REMOVE ALL LAYERS OF EXISTING ROOF SHINGLES, ROOF SHEATHING, RIDGE VENTS, AND ROOFING FELT PAPER ALONG WITH ALL RELATED FASTENERS. ENSURE CARE IS TAKEN DURING SHEATHING REMOVAL TO LIMIT DAMAGE TO ROOF STRUCTURE THAT REMAINS. REMOVE EXISTING PIPE FLASHING BOOTS AT ALL ROOF PENETRATIONS. REMOVE EXISTING FURNACE EXHAUST FLUES AND FLASHING ALONG WITH RAIN RINGS. PREPARE AREA OF ROOF AND ALL ROOF PENETRATIONS FOR NEW WORK.

CONSTRUCTION NOTES

- GC TO PROVIDE ALUMINUM WINDOW STOREFRONT SYSTEM ALONG WITH ALL RELATED HARDWARE, TRIM AND BLOCKING. VERIFY EXISTING FRAMED OPENING ALONG WITH ALL EXISTING CONDITIONS PRIOR TO SHOP DRAWING SUBMITTAL. LIMIT DISTURBANCE TO ADJACENT EXISTING INTERIOR AND EXTERIOR FINISHES. SEAL & FINISH AROUND STOREFRONT FRAME TO ACHIEVE A SEAMLESS INSTALLATION. INSTALL EXISTING COVERINGS/BLINDS SET ASIDE DURING DEMOLITION. PROVIDE NEW FASTENERS TO ENSURE PROPER INSTALLATION. PROVIDE REPLACEMENT OR REPAIR IN KIND OF ANY EXISTING FINISHES DAMAGED DURING DEMOLITION AND/OR INSTALLATION.
- GC TO PROVIDE ALUMINUM SINGLE-HUNG WINDOWS ALONG WITH ALL RELATED HARDWARE, TRIM AND BLOCKING. VERIFY EXISTING MASONRY OPENING ALONG WITH ALL EXISTING CONDITIONS PRIOR TO SHOP DRAWING SUBMITTAL. LIMIT DISTURBANCE TO ADJACENT EXISTING INTERIOR AND EXTERIOR FINISHES. SEAL & FINISH AROUND WINDOW FRAME TO ACHIEVE A SEAMLESS INSTALLATION. INSTALL EXISTING COVERINGS/BLINDS SET ASIDE DURING DEMOLITION. PROVIDE NEW FASTENERS TO ENSURE PROPER INSTALLATION. PROVIDE REPLACEMENT OR REPAIR IN KIND OF ANY EXISTING FINISHES DAMAGED DURING DEMOLITION AND/OR INSTALLATION.
- GC TO PROVIDE ARCHITECTURAL ROOF SHINGLES, ROOF SHEATHING, RIDGE VENTS, FELT PAPER, DRIP EDGE, SOFFIT, FASCIA AND RELATED FASTENERS. PROVIDE RIDGE SHINGLES OVER RIDGE VENT. PROVIDE VENTED SOFFIT. PROVIDE ICE AND WATER SHIELD UNDERLAYMENT AT ROOF PERIMETER, VALLEYS AND RIDGE VENTS. EXTEND UNDERLAYMENT 3 FEET PASTED INTERIOR WALL. PROVIDE ROOF OVERHANG EXTENSIONS AS INDICATED ON THE ROOF AND FRAMING PLANS ALONG WITH SECTION 5/A4.01. INSTALL SHINGLES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS INCLUDING ALL COMPONENTS REQUIRED FOR MANUFACTURER'S WARRANTY. PROVIDE FLASHING BOOTS AT ALL ROOF PENETRATIONS. PROVIDE EXHAUST FLUES AND FLASHING. CLEAN, PREP AND PAINT ALL PLUMBING VENTS. ENSURE WATER-TIGHT INSTALLATION. REFER TO TYPICAL ROOF DETAILS ON SHEET A4.01.

KEY PLAN





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DESIGN

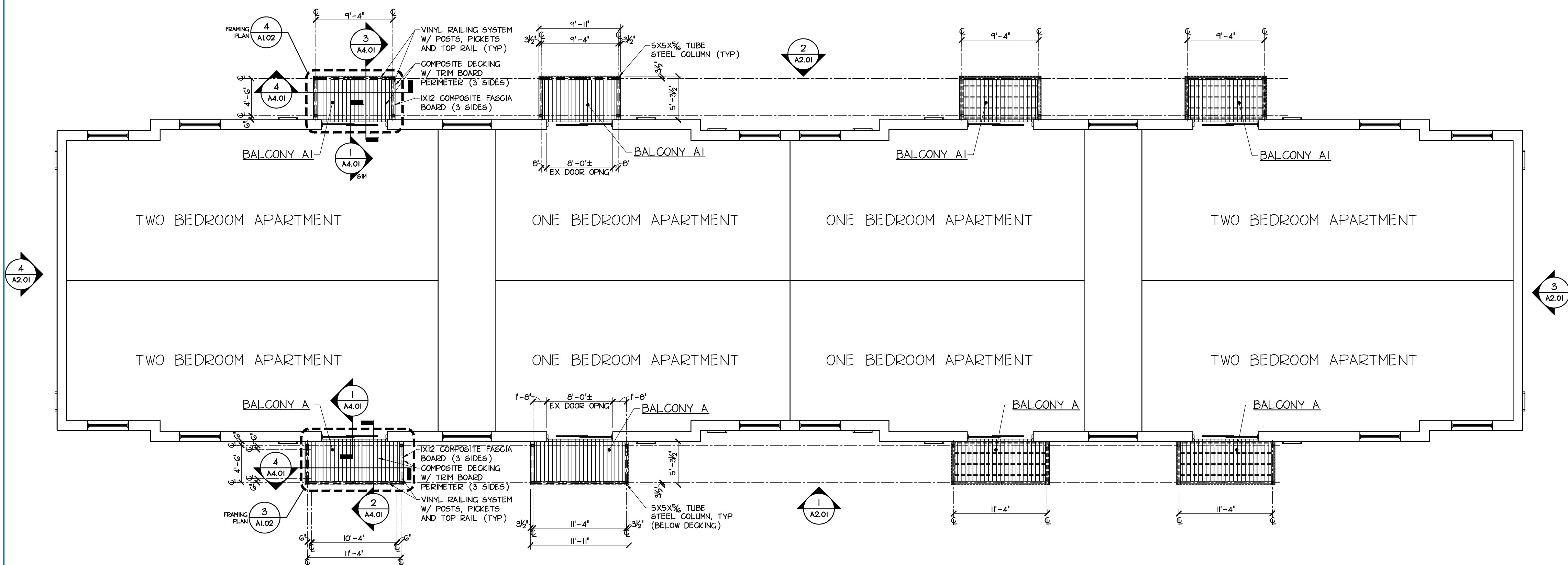
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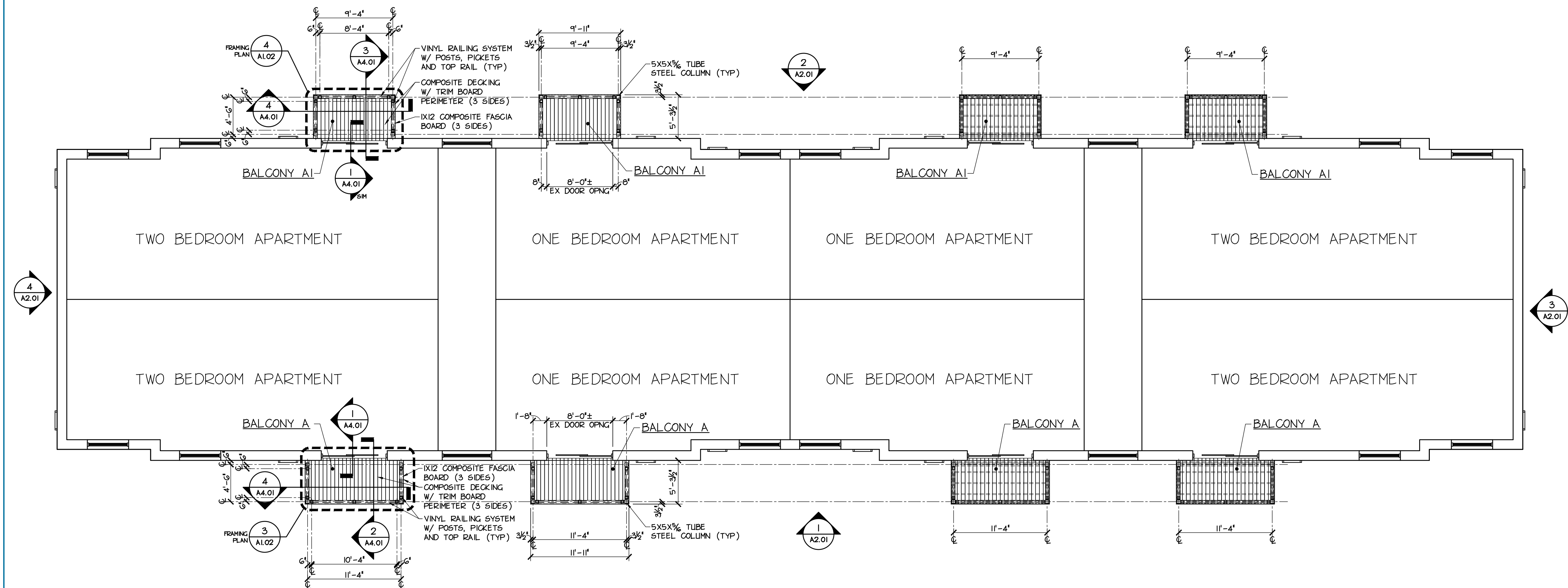


DRAWING NOTES

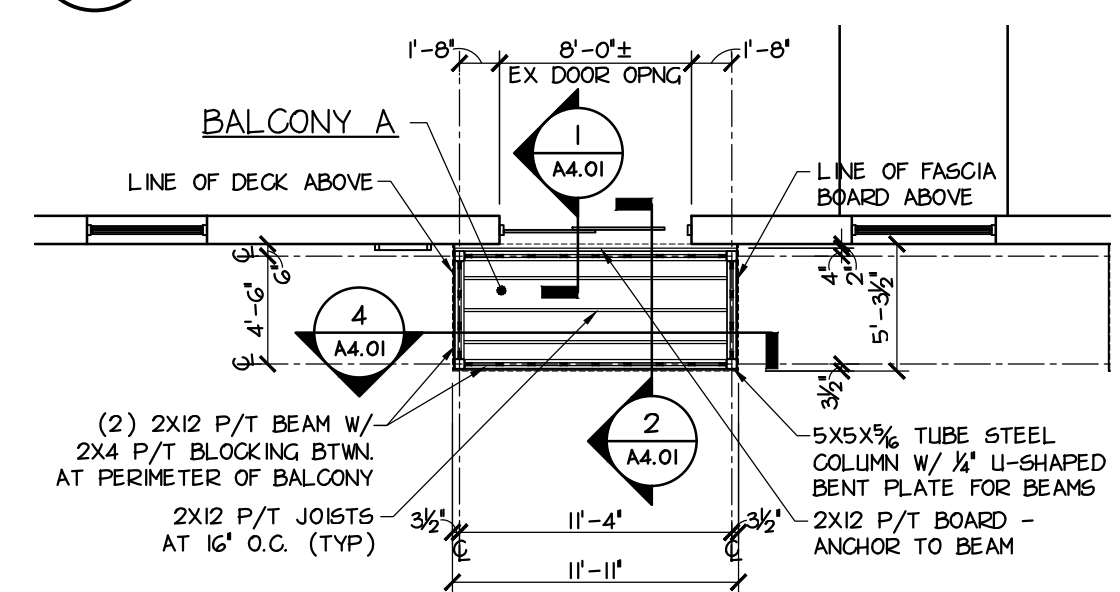
1. REFER TO SHEET A1.01 FOR GENERAL DEMOLITION NOTES, NUMBERED DEMOLITION NOTES, GENERAL CONSTRUCTION NOTES AND NUMBERED CONSTRUCTION NOTES.



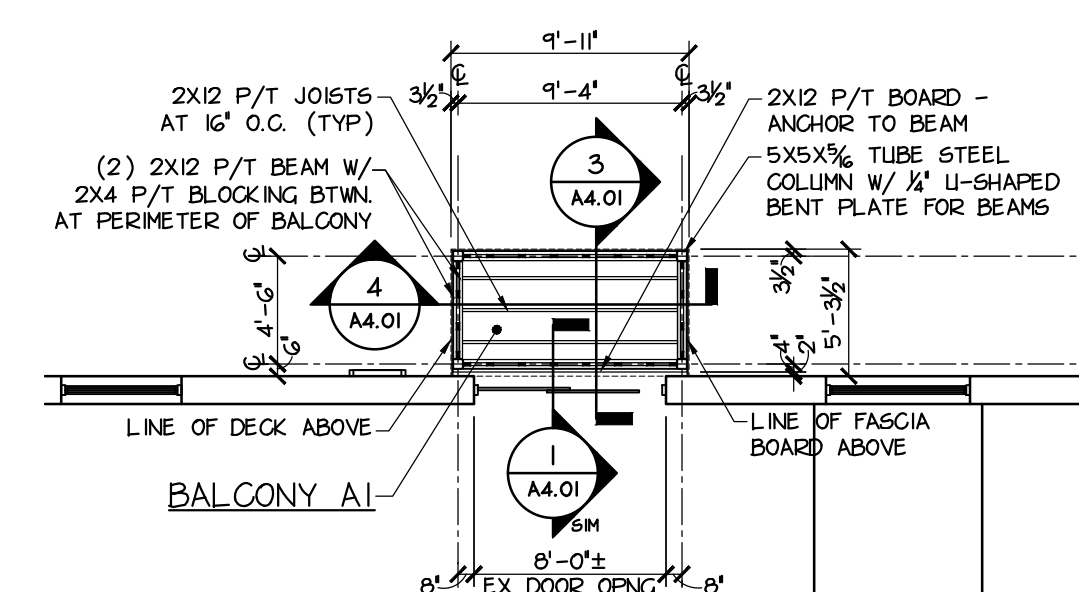
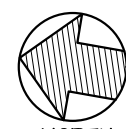
1 SECOND FLOOR PLAN
A1.02 SCALE: 1/8" = 1'-0"



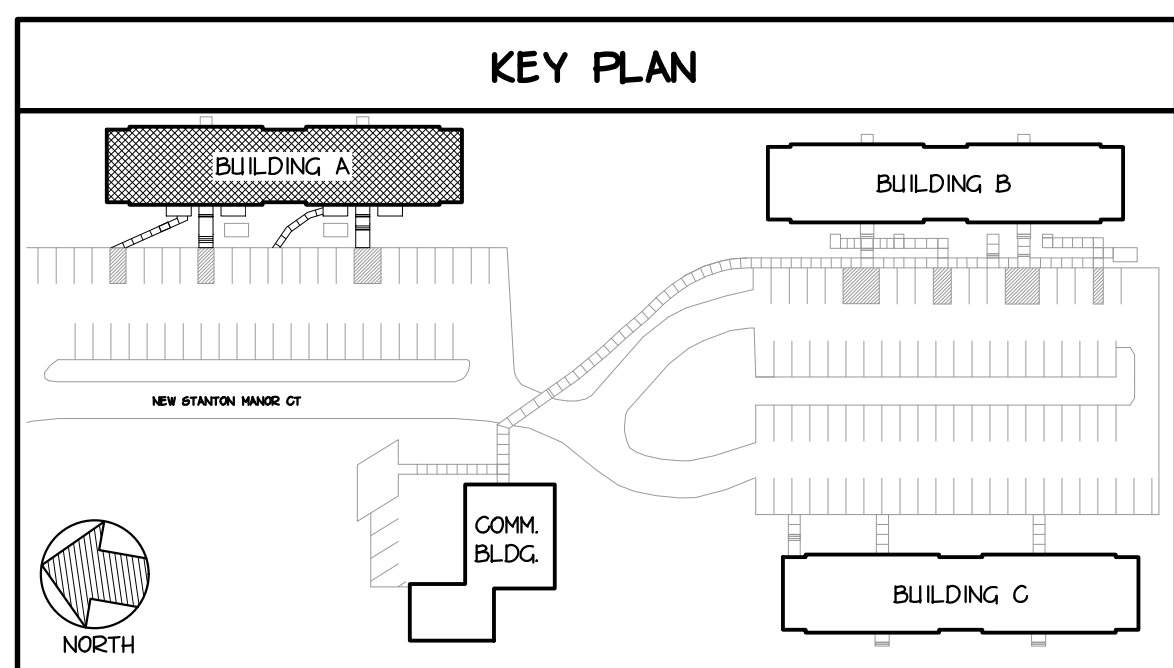
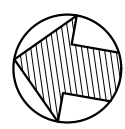
2 FIRST FLOOR PLAN
A1.02 SCALE: 1/8" = 1'-0"



3 BALCONY A FRAMING PLAN
A1.02 SCALE: 1/8" = 1'-0"



4 BALCONY AI FRAMING PLAN
A1.02 SCALE: 1/8" = 1'-0"



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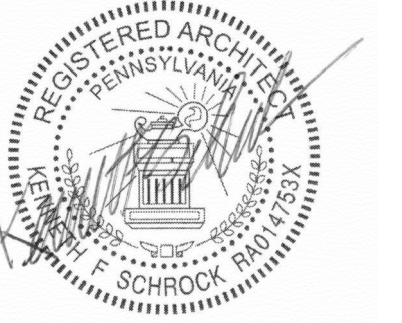
SHEET NAME
**1ST & 2ND
FLR PLANS
BLDG A**

SHEET NUMBER

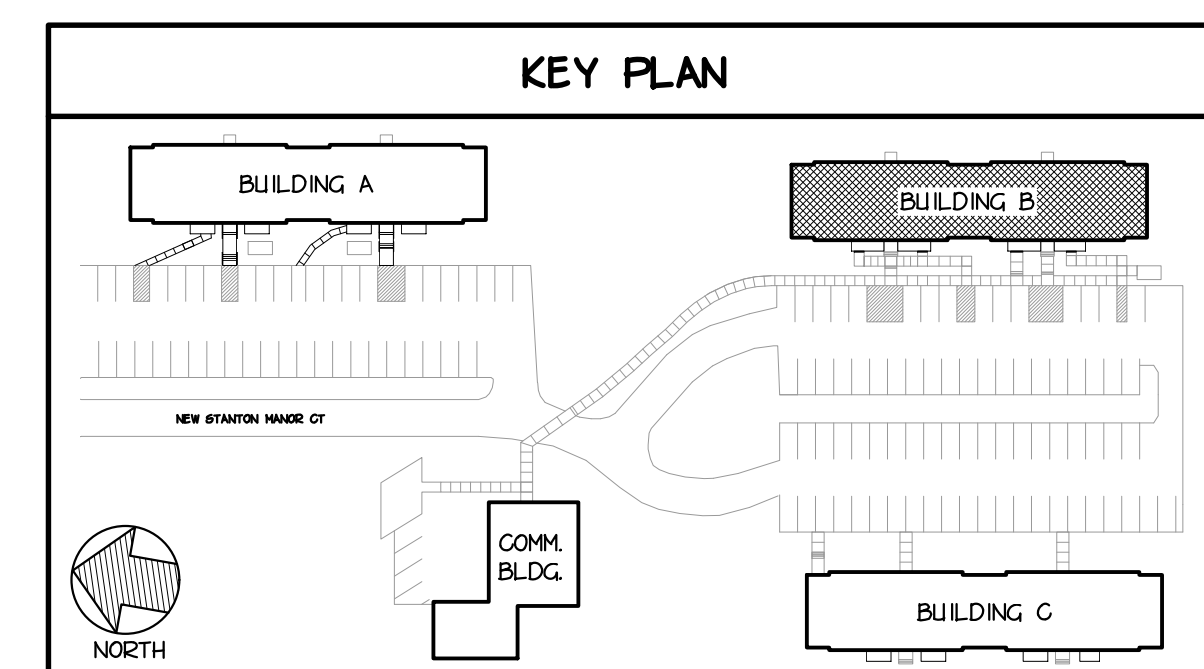
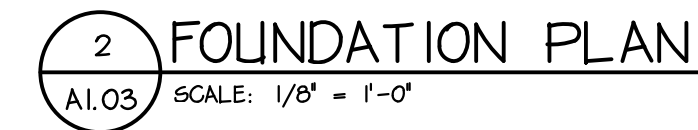
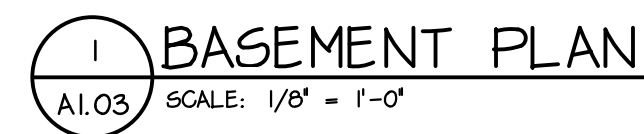
A1.02



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I. REFER TO SHEET A1.01 FOR GENERAL DEMOLITION NOTES, NUMBERED DEMOLITION NOTES, GENERAL CONSTRUCTION NOTES AND NUMBERED CONSTRUCTION NOTES.



NEW STANTON MANOR EXTERIOR RENOVATIONS

OWNER

WESTMORELAND
COUNTY
HOUSING
AUTHORITY

PROJECT NUMBER
R24-077-01

ISSUED FOR
BIDDING

ISSUE DATE
DECEMBER 13, 2024

SHEET NAME

FND &
BASEMENT
FLR PLANS
BLDG B

SHEET NUMBER

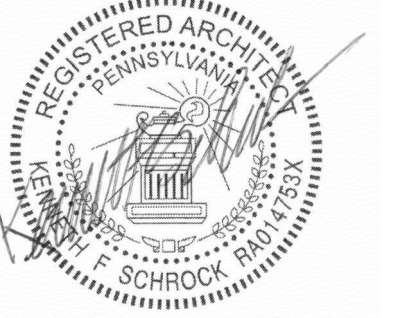
A1.03



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MANOR
EXTERIOR
RENOVATIONS**

OWNER

**WESTMORELAND
COUNTY
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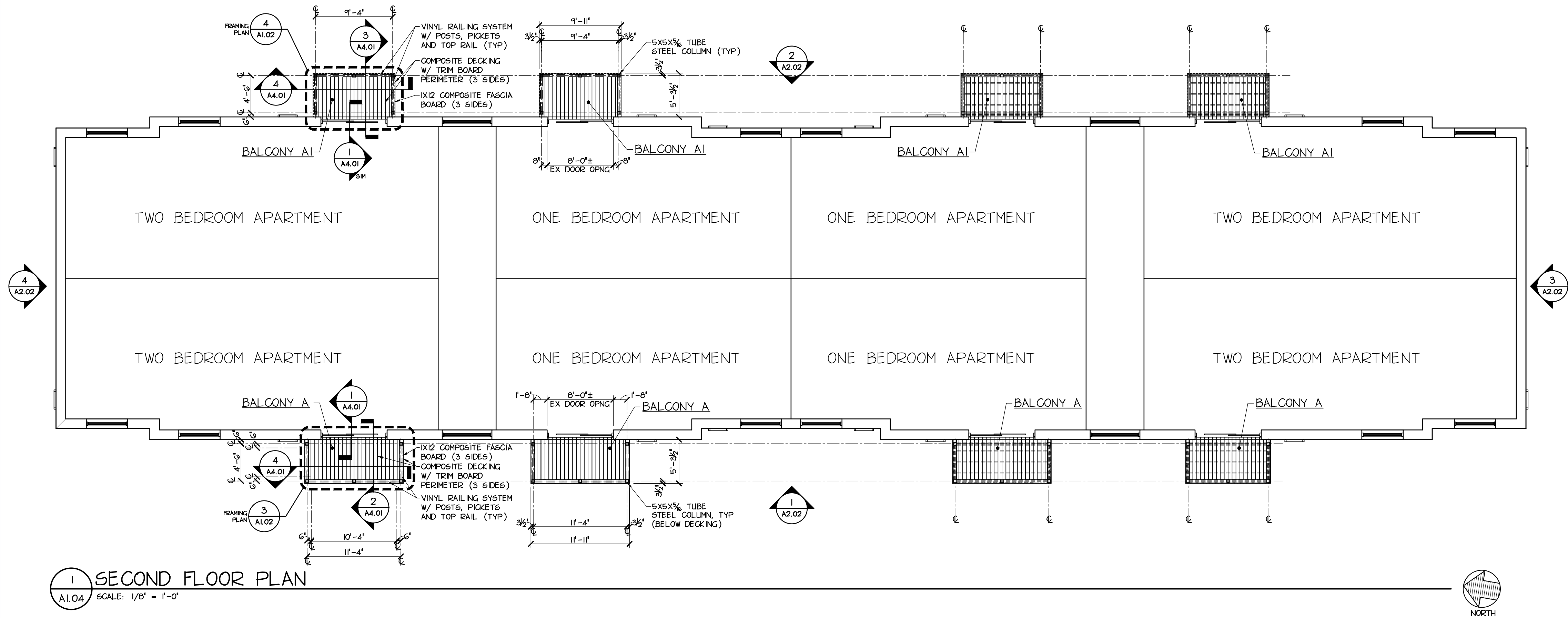
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FLR PLANS
BLDG B**

SHEET NUMBER

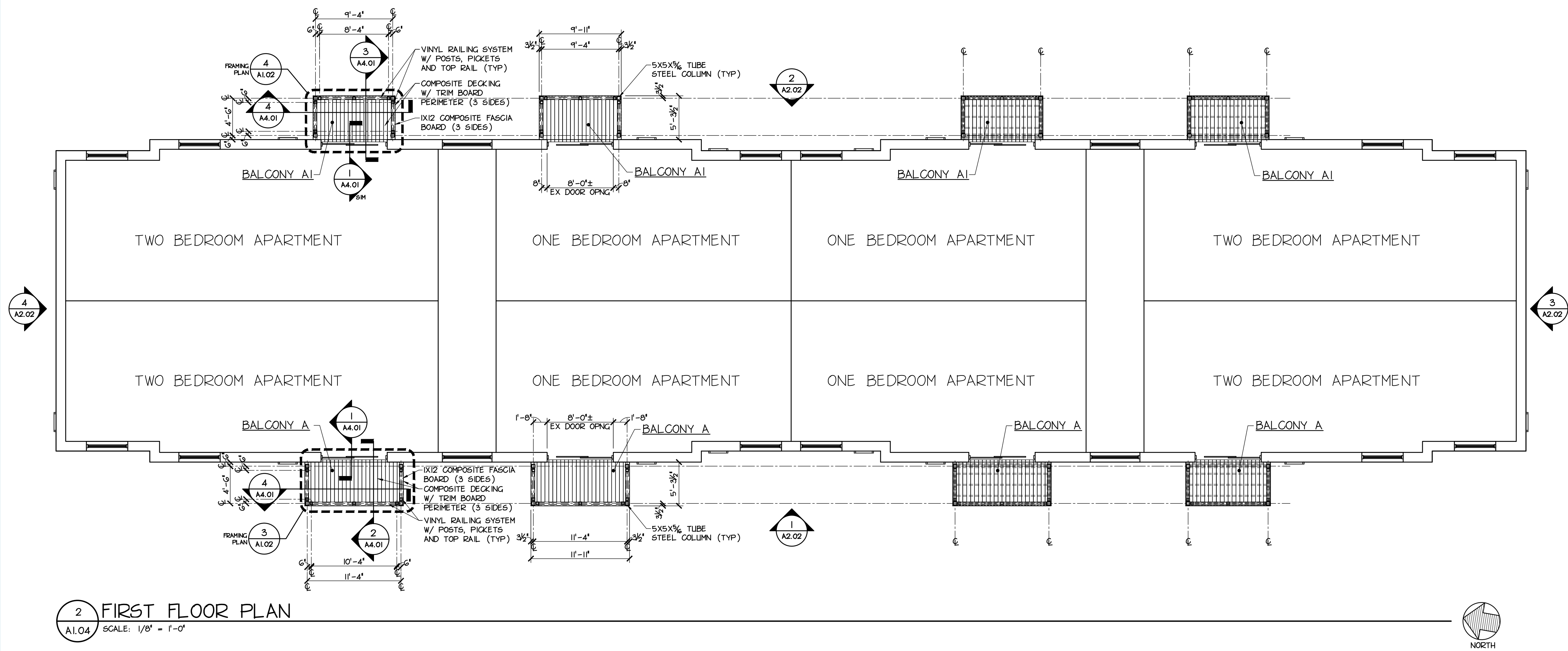
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DRAWING NOTES

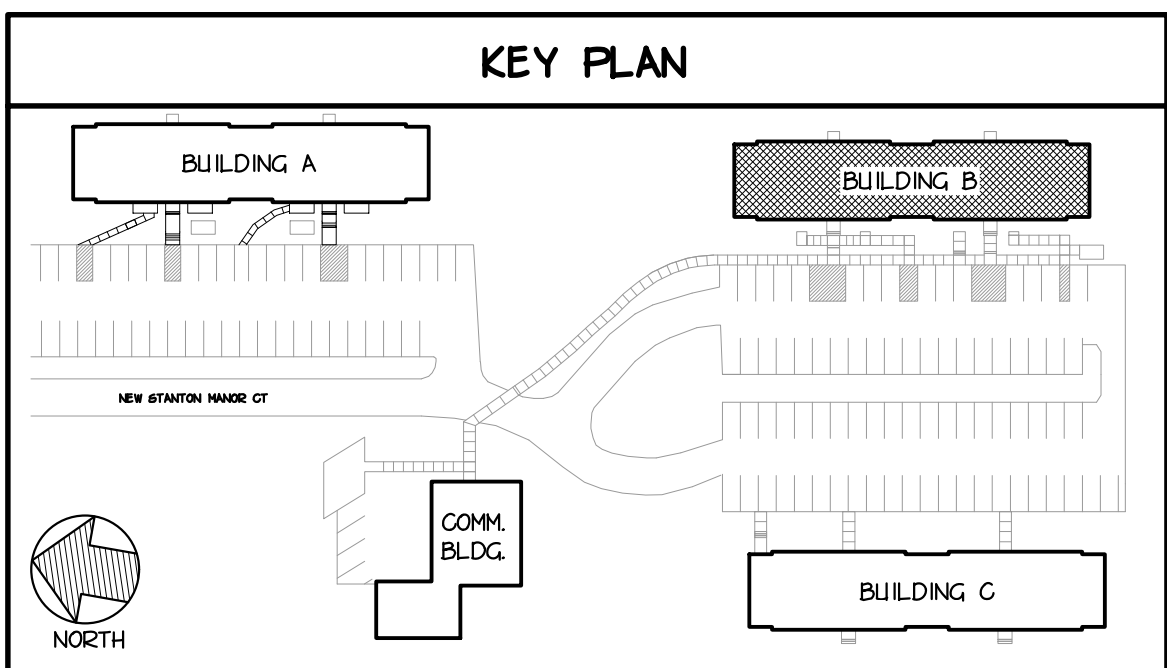
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A1.04 SCALE: 1/8" = 1'-0"

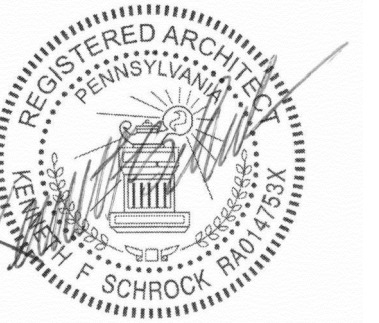


2 FIRST FLOOR PLAN
A1.04 SCALE: 1/8" = 1'-0"





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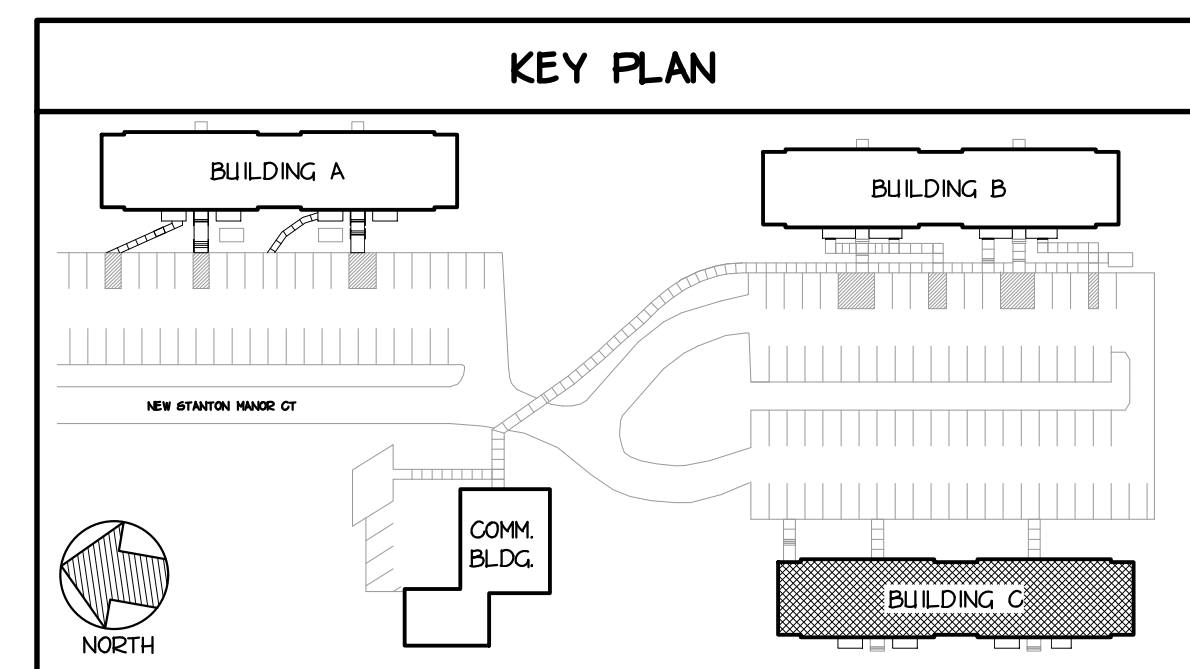
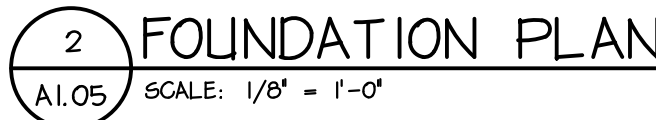
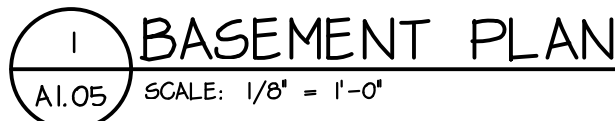
DECEMBER 13, 2024

HEET NAM

HEET NAME
FND &
BASEMENT
FLR PLANS
BLDG C

SHEET NUMBER

A1.05





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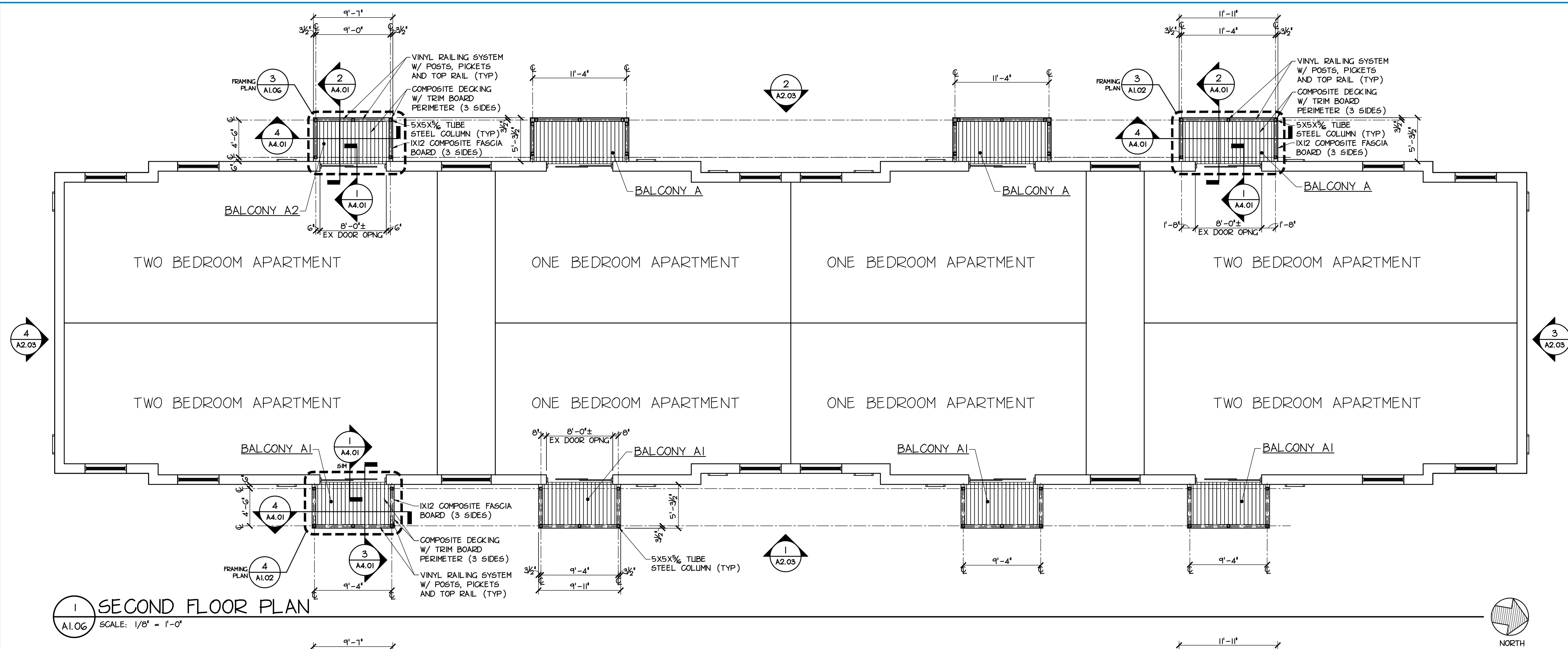
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FLR PLANS
BLDG C

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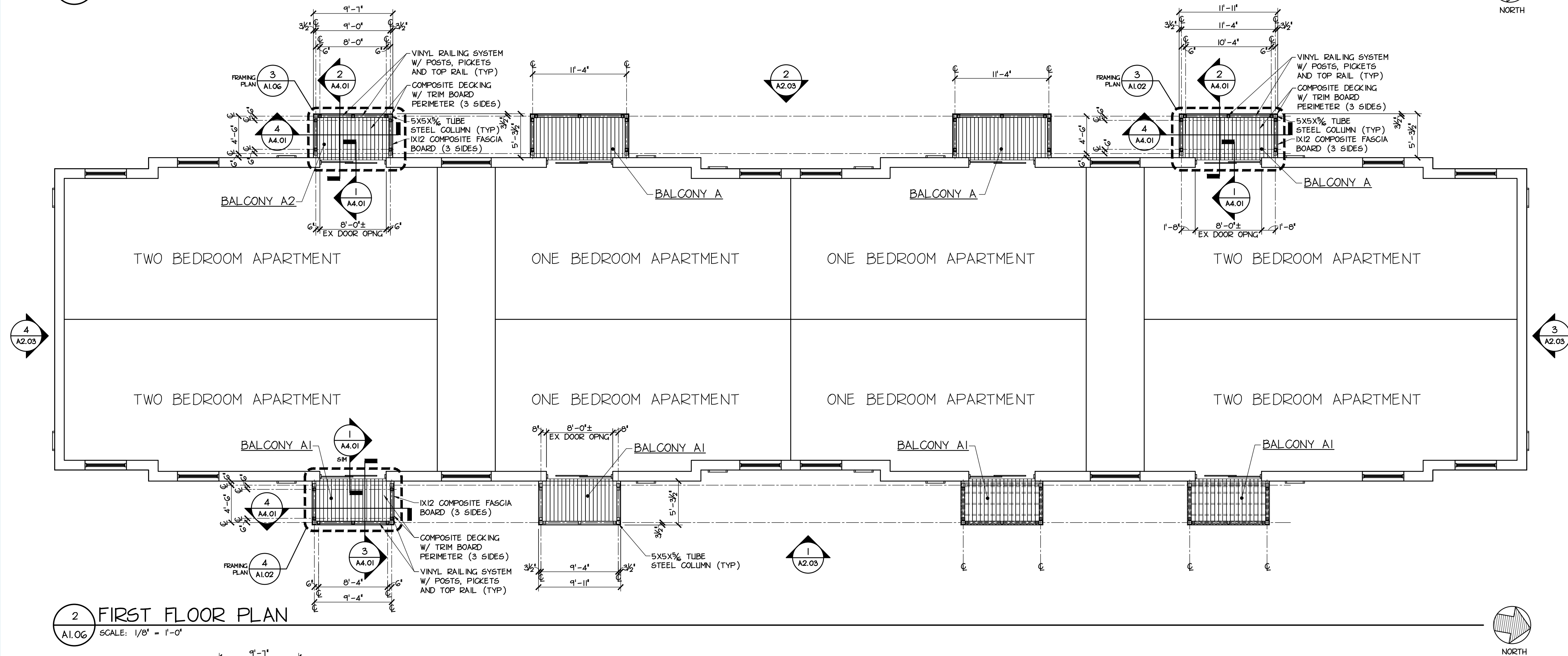
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DRAWING NOTES

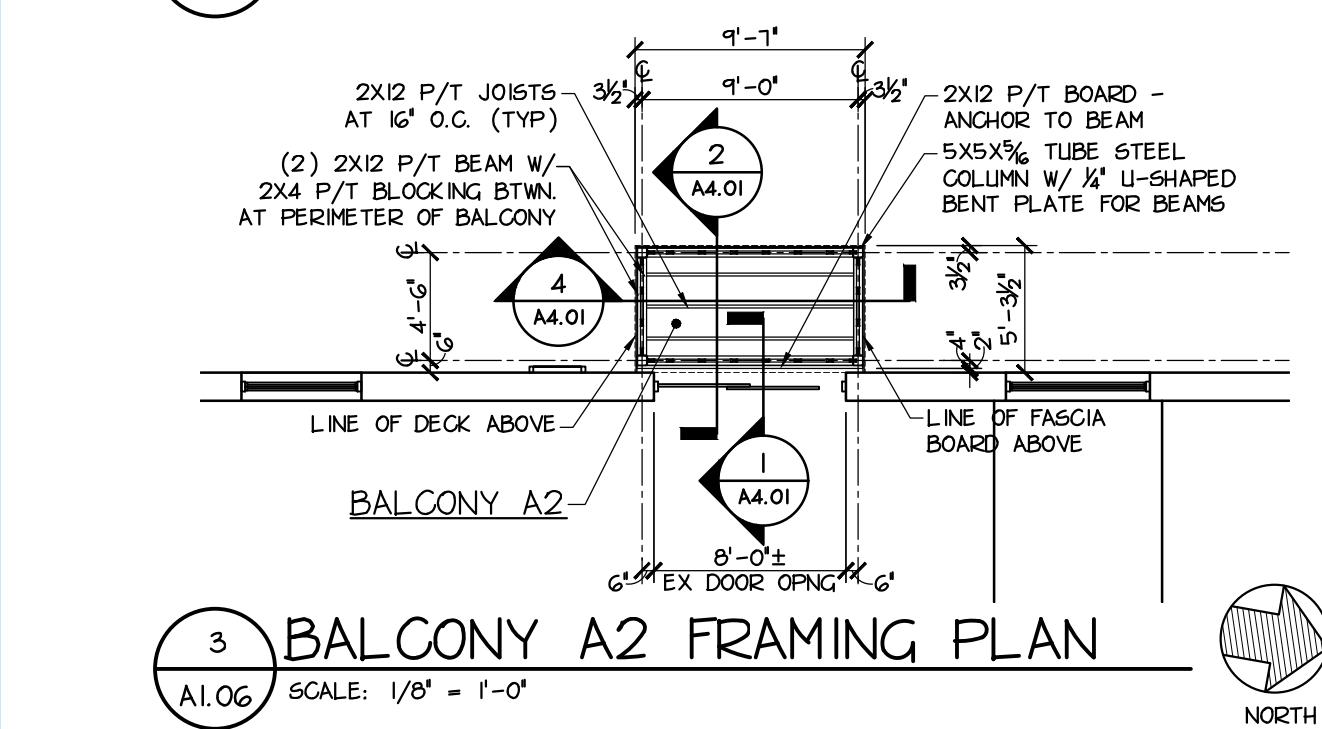
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A1.06 SCALE: 1/8" = 1'-0"

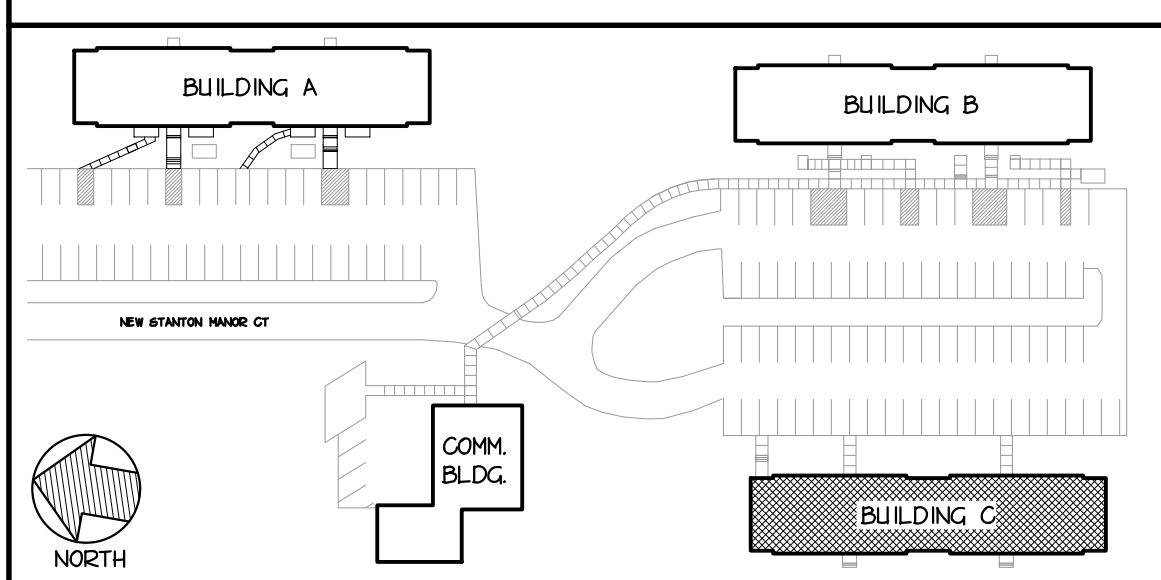


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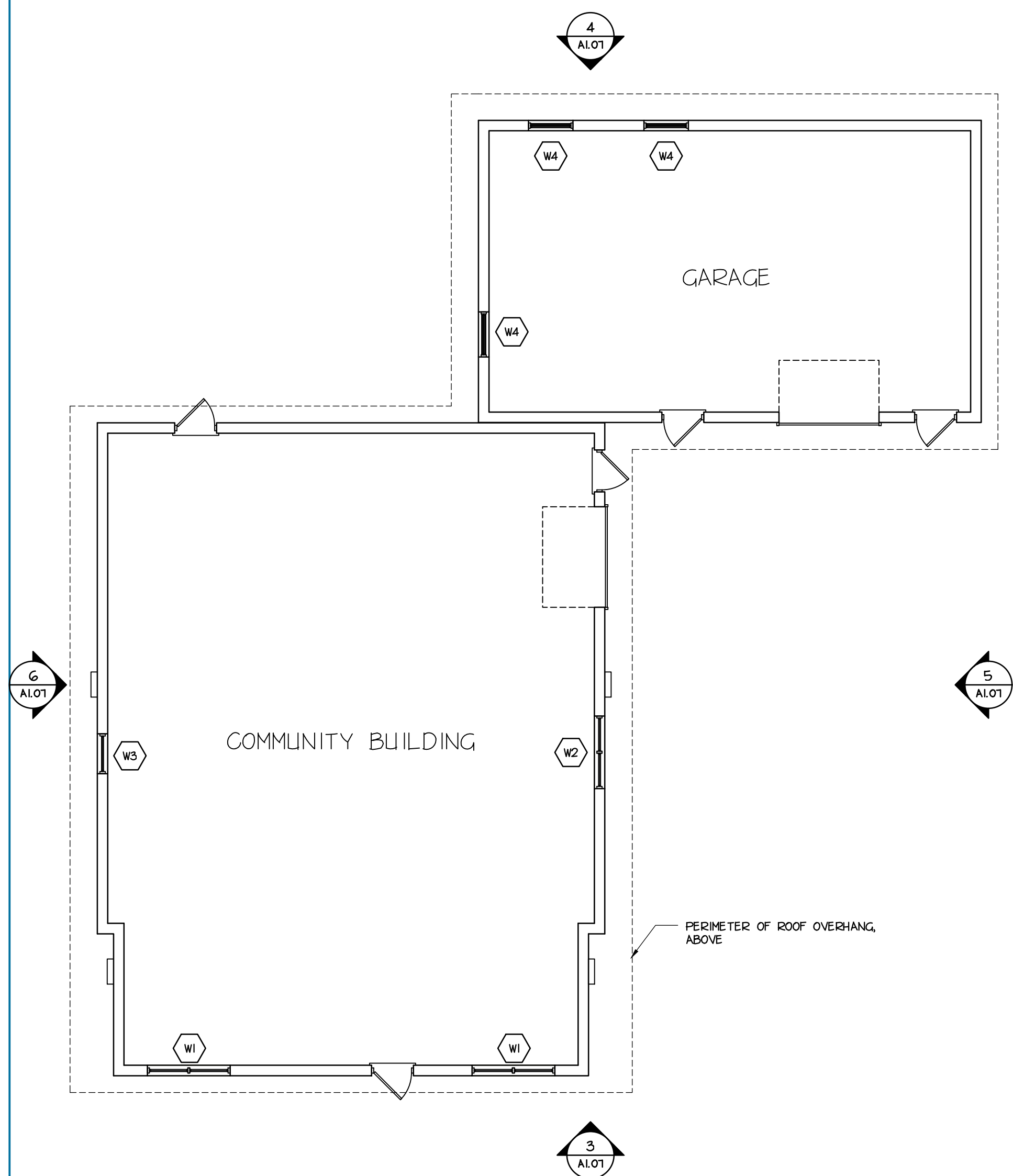


3 BALCONY A2 FRAMING PLAN
A1.06 SCALE: 1/8" = 1'-0"

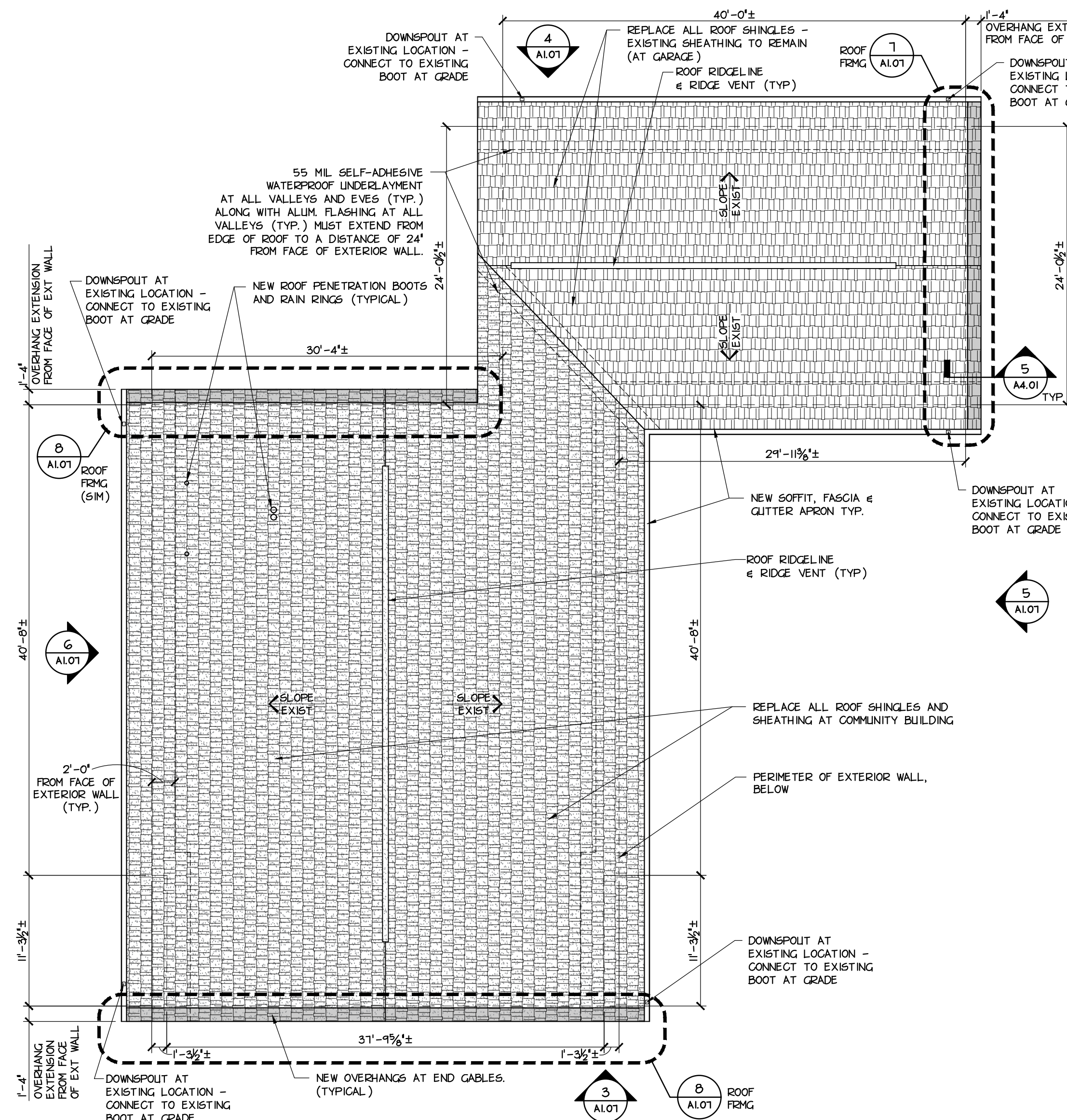
KEY PLAN



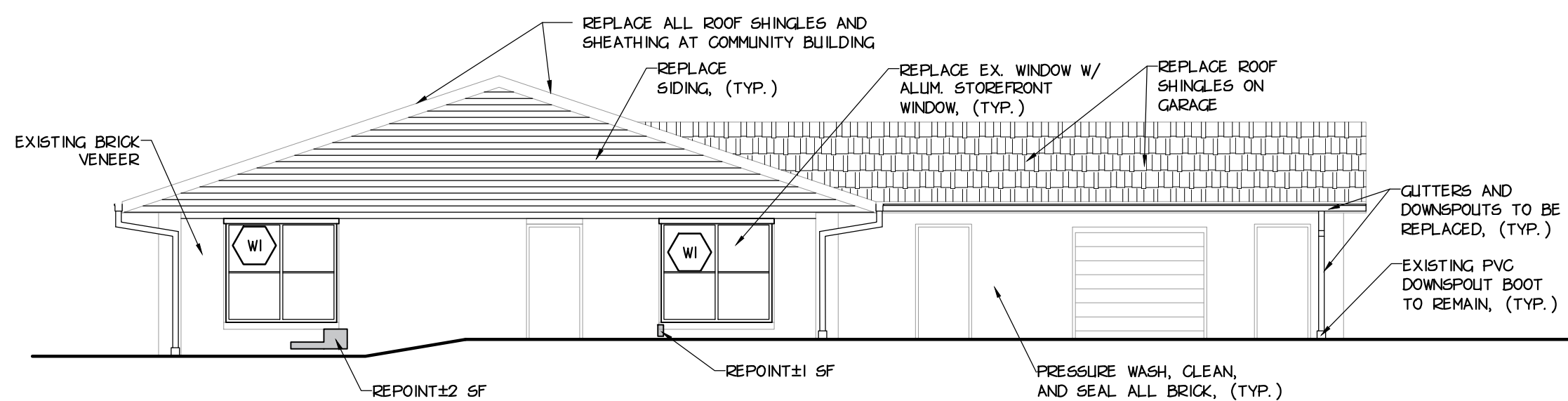
P:077 - Westmoreland County Housing Authority R24-077-01 - WCHA - New Stanton Manor - Exterior Renovations Dwg (Sheet A1.07.dwg, Date: 12/13/2024 9:29:33 AM, Plotted By: JANE DOLJAC)



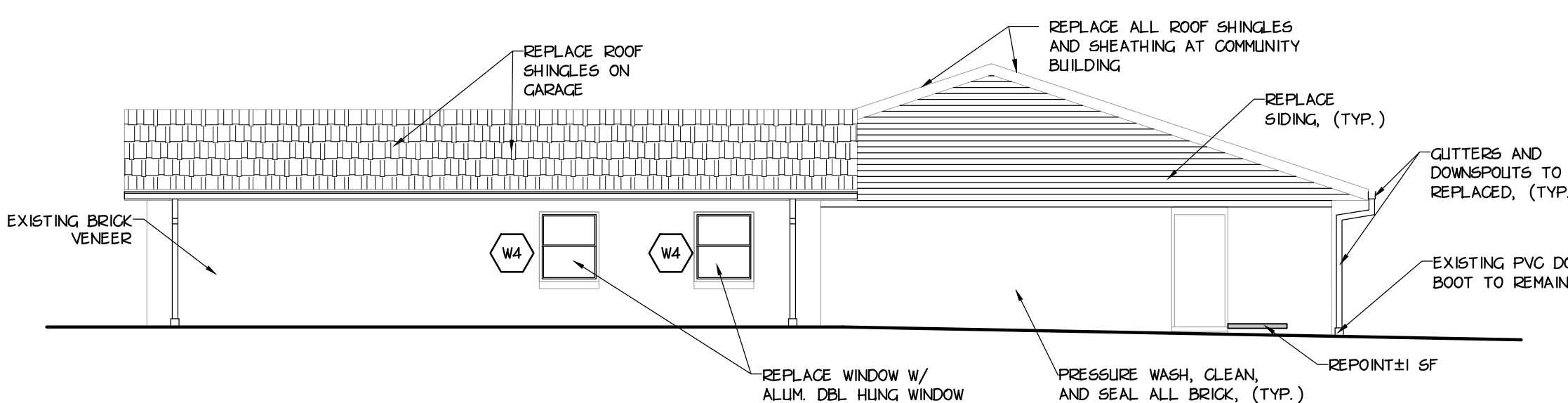
1 FLOOR PLAN - COMMUNITY BUILDING
A1.01 SCALE: 1/8" = 1'-0"



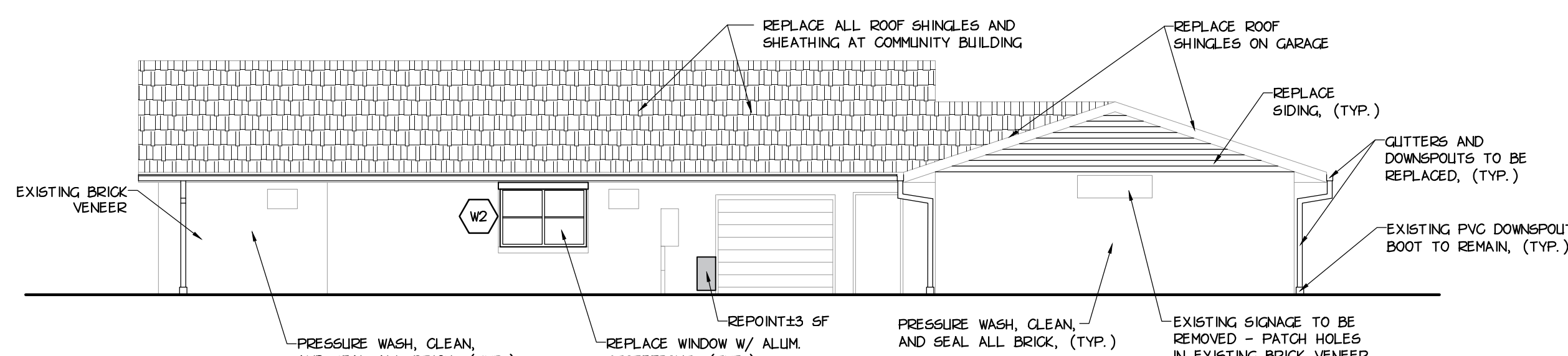
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A1.01 SCALE: 1/8" = 1'-0"



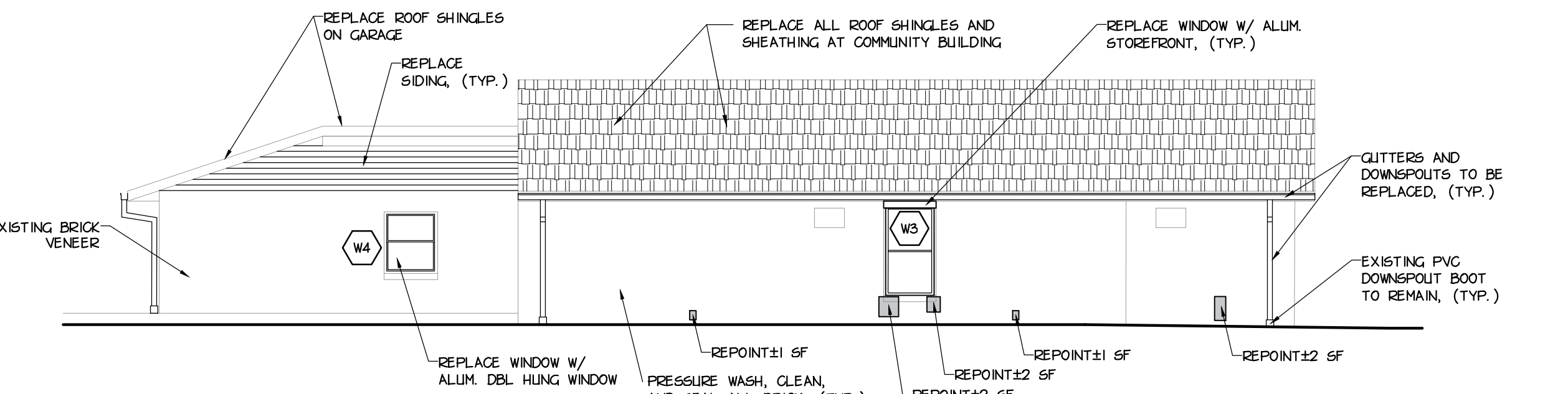
3 FRONT ELEVATION
A1.01 SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
A1.01 SCALE: 1/8" = 1'-0"



5 RIGHT SIDE ELEVATION
A1.01 SCALE: 1/8" = 1'-0"

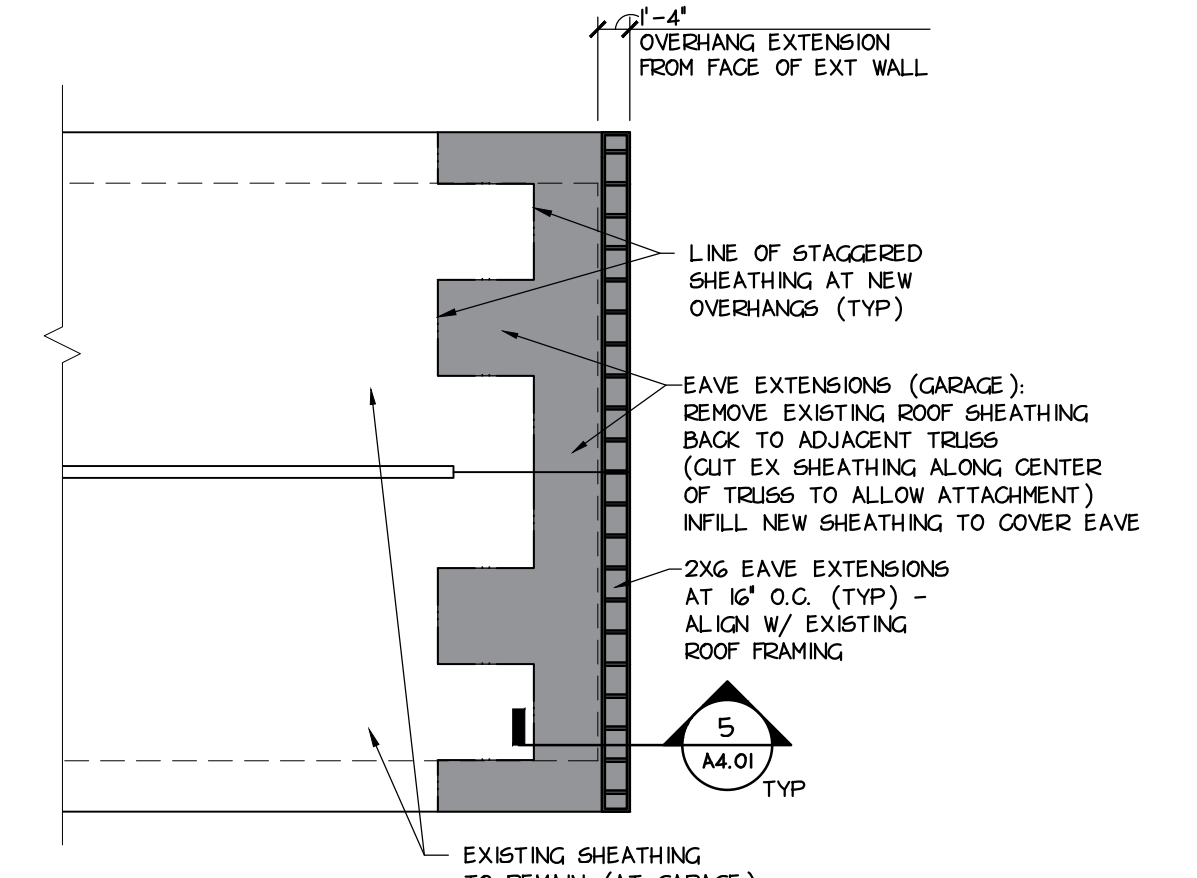
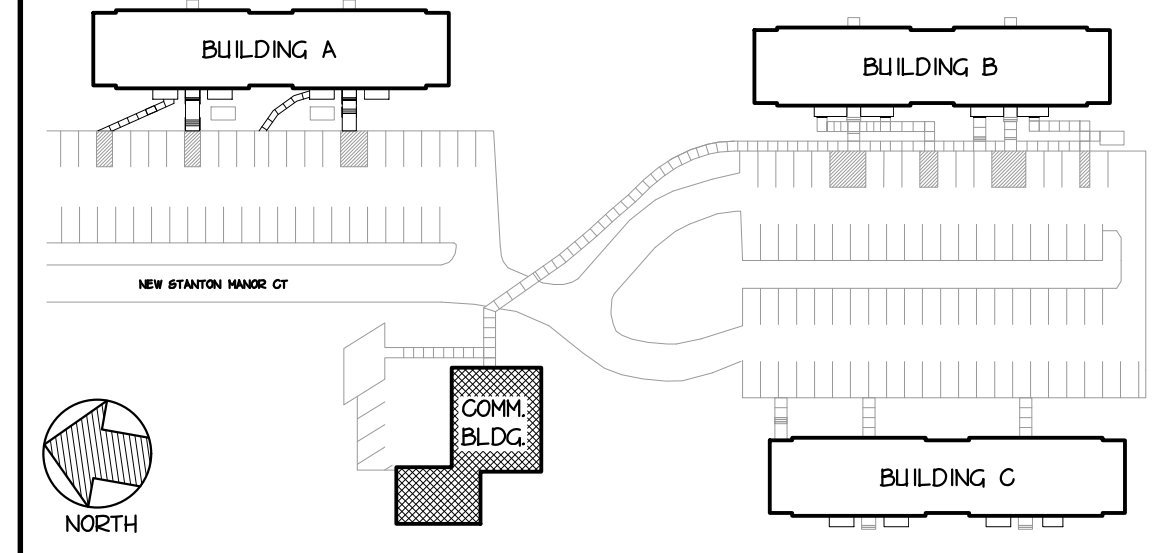


6 LEFT SIDE ELEVATION
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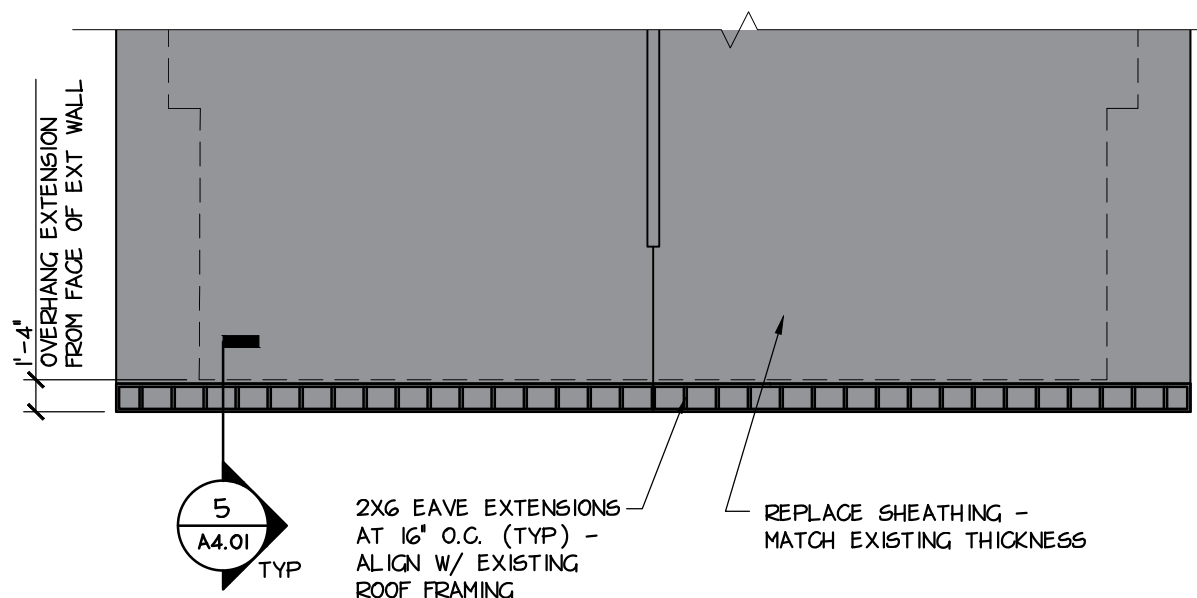
DRAWING NOTES

- REFER TO SHEET A1.01 FOR GENERAL DEMOLITION NOTES, NUMBERED DEMOLITION NOTES, GENERAL CONSTRUCTION NOTES AND NUMBERED CONSTRUCTION NOTES.
- REFER TO SHEET A2.01 FOR MASONRY RESTORATION NOTES.

KEY PLAN



7 PARTIAL ROOF FRAMING PLAN
A1.01 SCALE: 1/8" = 1'-0"



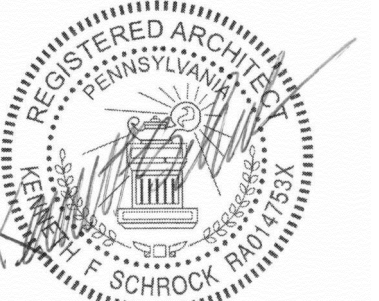
8 PARTIAL ROOF FRAMING PLAN
A1.01 SCALE: 1/8" = 1'-0"



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SHEET NUMBER

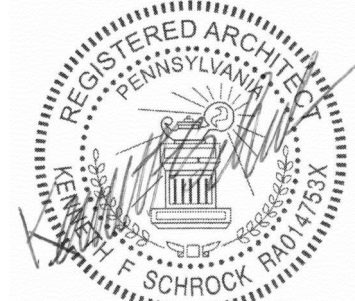
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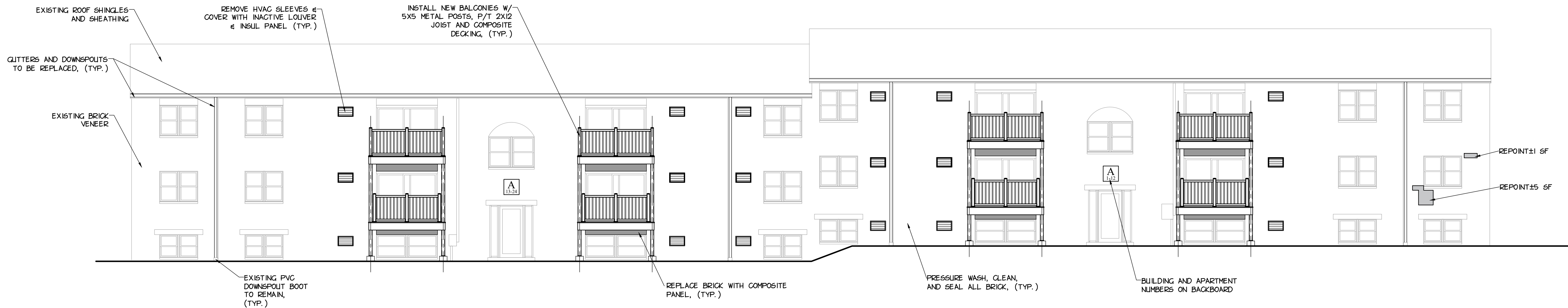
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SHEET NUMBER

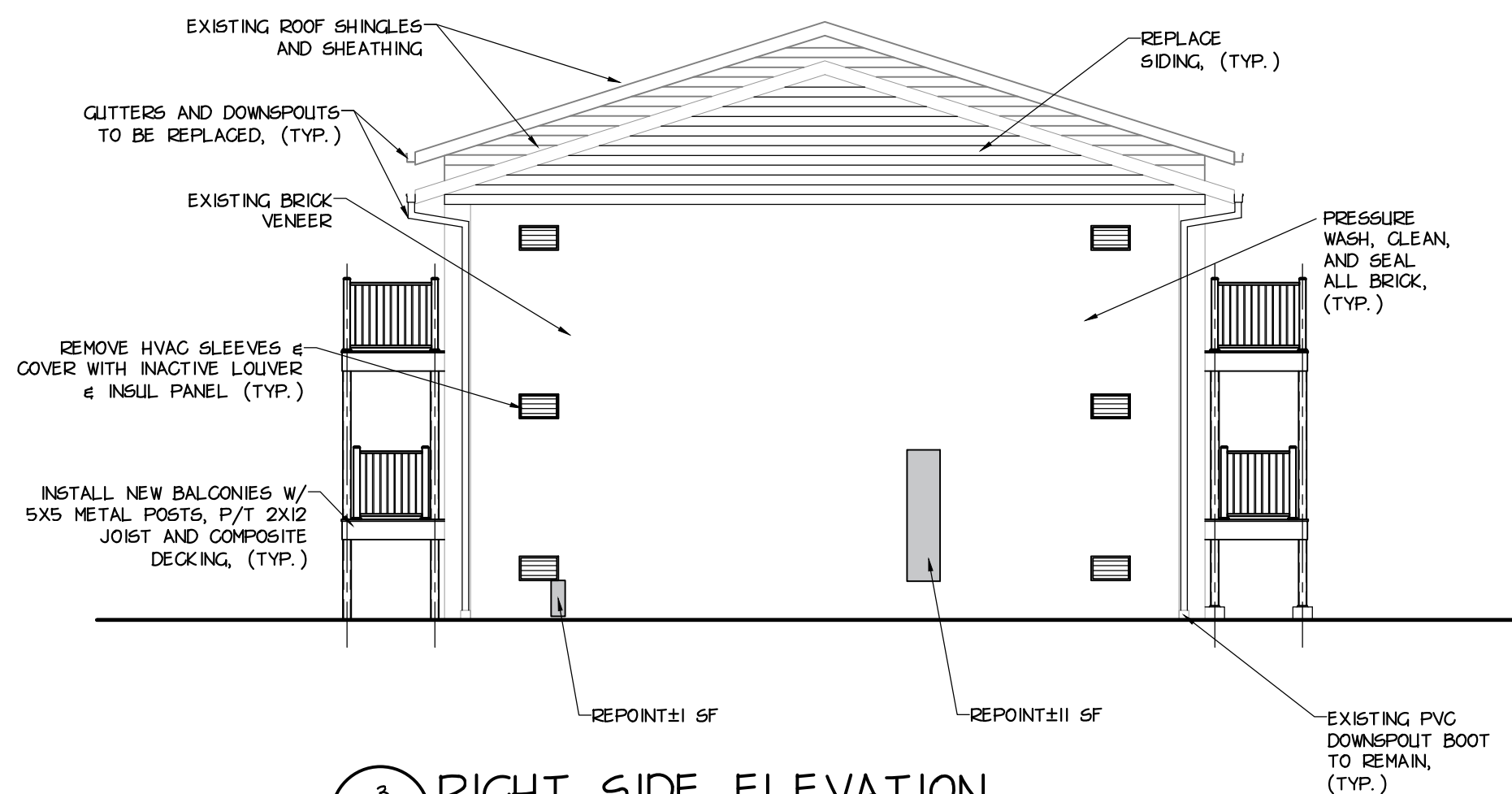
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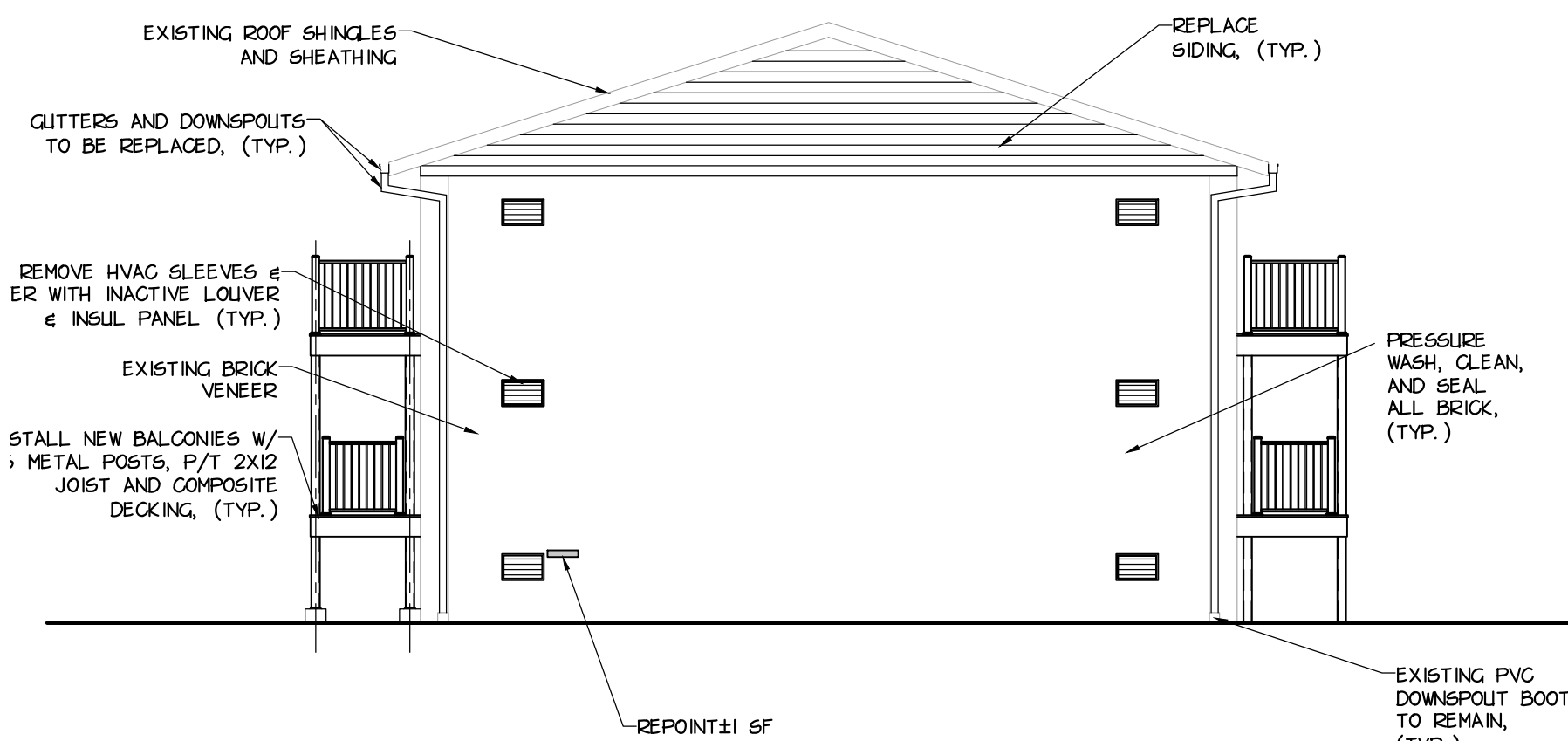
1 FRONT ELEVATION
A2.01 SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
A2.01 SCALE: 1/8" = 1'-0"



3 RIGHT SIDE ELEVATION
A2.01 SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION
A2.01 SCALE: 1/8" = 1'-0"

MASONRY RESTORATION NOTES

SAFETY.
THE CONTRACTOR SHALL PERFORM ALL WORK ACTIVITIES IN ACCORDANCE WITH SPECIFICATION SECTION 01 3500 SAFETY, AND ALL APPLICABLE HEALTH AND SAFETY REGULATIONS INCLUDING THOSE ESTABLISHED BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE U.S. DEPARTMENT OF LABOR.

- 1) THE CONTRACTOR SHALL PROVIDE SIGNAGE AND BARRICADES TO SUFFICIENTLY PROTECT RESIDENTS DURING OVERHEAD MASONRY RESTORATION ACTIVITIES. THIS INCLUDES THE INSTALLATION OF APPROPRIATE SCAFFOLDING AND SAFETY PLATFORMS OVER SIDEWALKS TO PROTECT RESIDENTS FROM FALLING DEBRIS. EVERY EFFORT SHALL BE MADE BY THE CONTRACTOR TO INFORM AND PROTECT RESIDENTS FROM FALLING DEBRIS AND INJURY.
- 2) A DESIGNATED SAFETY OFFICER AS PROVIDED BY THE CONTRACTOR SHALL BE ONSITE DURING ALL OVERHEAD RESTORATION ACTIVITIES.
- 3) EMERGENCY DATA SHALL BE KEPT ONSITE FOR USE BY THE SAFETY OFFICER OR OTHERS AS NEEDED.
- 4) THE CONTRACTOR SHALL ABIDE BY THE SAFETY AGREEMENT BETWEEN OWNER AND CONTRACTOR WHICH IS PART OF SPECIFICATION SECTION 01-3500 SAFETY.

REPORTING NOTES

- 1) THOROUGHLY CLEAN THE MASONRY EXTERIOR OF THE BUILDING IN ACCORDANCE WITH THE PROJECT REQUIREMENTS.
- 2) THIS PROJECT WILL INCLUDE PARTIAL REPORTING OF THE EXTERIOR MORTAR JOINTS. ESTIMATES OF THE SQUARE FOOTAGE FOR EACH BUILDING FACE ARE PROVIDED ON THE CONTRACT DRAWINGS.
- 3) THOROUGHLY INSPECT THE WORK AREA AND IDENTIFY RECTANGULAR AREAS WHICH WILL REQUIRE REPORTING. INFORM THE OWNER AND ENGINEER OF THE GENERAL QUANTITY IN SQUARE FEET OF REPORTING REQUIRED FOR EACH BUILDING FACE ONCE INSPECTED. THE INSPECTION SHOULD CONSIDER THE ITEMS IDENTIFIED IN NOTE 4 BELOW.
- 4) REPORT MORTAR JOINTS WHERE ANY OF THE FOLLOWING CONDITIONS OCCUR:
 - A. MORTAR EROSION EXCEEDING 1/2" IN DEPTH
 - B. CRUMBLY MORTAR
 - C. MORTAR WITH VOIDS
 - D. HAZARD CRACKS (DEPTH OF 1/2" ACCEPTING THICKNESS EQUAL TO A PLASTIC CREDIT CARD) IN MORTAR
 - E. CRACKS BETWEEN THE BRICK AND MORTAR
- 5) SELECT MATERIALS AND CREATE AN APPROVED MOCKUP. ONCE THE ROUGH QUANTITIES ARE APPROVED FOR A SPECIFIC WORK AREA, PROCEED AS OUTLINED BELOW.
 - A. SELECT MORTAR MATERIALS OF APPROPRIATE STRENGTH AND APPEARANCE TO SUCCESSFULLY COMPLETE THIS PHASE OF THE WORK.
 - B. PERFORM UP TO 3 - 48" X 48" MOCKUPS FOR THE OWNER AND ENGINEER TO REVIEW. REPORTING WORK CANNOT PROCEED UNTIL THE FINAL MOCKUP IS APPROVED FOR COLOR, TEXTURE, AND JOINT FINISH.
 - C. MORTAR REMOVAL/JOINT PREPARATION. PROCEED WITH REMOVAL OF MORTAR JOINT MATERIAL TO A MINIMUM DEPTH OF 1/2" IN MANAGEABLE SECTIONS. UTILIZE APPROVED TOOLS AND METHOD. THOROUGHLY REMOVE THE OLD MORTAR WITHIN THE WORK AREA AND AVOID DAMAGE TO THE BRICK MASONRY UNITS. CLEAN THE EXPOSED JOINT OF ALL LOOSE PARTICLES BY BRUSHING, RINSING WITH WATER, OR BLOWING WITH AIR.
 - 7) PREPARE AND THOROUGHLY MIX THE APPROVED MORTAR FOR USE. THE APPROVED MORTAR SHOULD MEET THE REQUIREMENTS OF ASTM C 210. APPROVED MORTAR SHOULD BE PRE-HYDRATED TO REDUCE SHRINKAGE, SHOULD BE WATERTIGHT, AND SHOULD MATCH THE COLOR AND TEXTURE OF THE EXISTING BUILDING MORTAR.
 - 8) MOISTEN THE WORK SURFACE AND APPLY THE APPROVED MORTAR MIX INTO THE JOINTS WITH A NARROW TUCKPOINTING TOOL IN 1/4" LIFTS. AVOID CREATING AIR POCKETS OR VOIDS. THE FINAL LIFT SHALL CREATE A CONCAVE TOOLED JOINT WITH A SMOOTH SURFACE THAT IS TIGHTLY COMPRESSED AND LANDS FLUSH WITH THE OUTSIDE EDGE OF THE BRICK.
 - 9) REMOVE LOOSE MORTAR OR BLURS FROM THE WORK AREA USING A MASONRY BRUSH. PROCEED TO THE NEXT WORK AREA AND REPEAT.

REMOVE AND REPLACE BROKEN OR DAMAGED BRICK

- 1) ESTABLISH A SAFETY ZONE AROUND AND UNDER THE WORK AREA. INSTALL BARRICADES AND WARNING SIGNS TO KEEP PEDESTRIANS FROM WANDERING INTO AND UNDER THE WORK AREA.
- 2) SELECT SUITABLE PRODUCTS (BRICK, MORTAR, ETC) AND PROVIDE A MOCKUP FOR REVIEW AND APPROVAL.
- 3) CONDUCT AN ASSESSMENT TO ESTABLISH THE LIMITS OF BRICK THAT NEEDS TO BE REMOVED AND REPLACED, AND MARK APPROPRIATELY.
- 4) CAREFULLY REMOVE THE BROKEN OR DAMAGED BRICK IDENTIFIED FOR REPLACEMENT.
- 5) RECONSTRUCT THE REMOVED BRICK IN SECTIONS INSTALLING BRICK TIES AT APPROVED INTERVALS AS YOU WORK. MATCH COURSING AND HEAD JOINTS WHERE POSSIBLE.
- 6) COMPLETE THE BRICK REPLACEMENT BY TOOLING THE MORTAR JOINTS TO MATCH EXISTING. USE A MASONRY BRUSH TO REMOVE BURRS AND PERFORM A FINAL CLEANUP OF THE WALL.
- 7) CLEANUP. REMOVE ANY EXCESS MORTAR OR DEBRIS FROM THE REPAIR AREA AND SURROUNDING AREAS. DISPOSE OF WASTE MATERIALS RESPONSIBLY AND ENSURE THAT THE WORK AREA IS LEFT CLEAN AND TIDY.
- 8) CONDUCT A FINAL INSPECTION OF THE REPAIR TO ENSURE THAT THE WORK HAS BEEN COMPLETED TO A HIGH STANDARD AND MEETS THE NECESSARY SPECIFICATIONS. MAKE ANY NECESSARY ADJUSTMENTS OR TOUCH-UPS AS NEEDED BEFORE CONSIDERING THE REPAIR COMPLETE.

CLEAN AND SEAL BRICK

- 1) BEFORE STARTING, INSPECT THE BUILDING EXTERIOR AND PERFORM ANY REPORTING OR BRICK REPLACEMENT AS INDICATED BY THE CONTRACT DOCUMENTS.
- 2) COVER PLANTS, OUTDOOR FURNITURE, AND OTHER ITEMS NEAR THE BUILDINGS TO PROTECT THEM FROM DETERGENT AND DEBRIS.
- 3) CLEAR THE AREA AROUND THE BUILDINGS TO ENSURE SAFE ACCESS.
- 4) FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR DILUTION AND APPLICATION OF THE DETERGENT CLEANER.
- 5) BEFORE STARTING, TEST THE PRESSURE WASHER IN AN INCONSPICUOUS AREA TO ENSURE IT'S SET TO AN APPROPRIATE PRESSURE AND WON'T DAMAGE THE BRICK.
- 6) START FROM THE TOP OF EACH BUILDING AND WORK YOUR WAY DOWN TO PREVENT STREAKING. HOLD THE PRESSURE WASHER NOZZLE AT A 45-DEGREE ANGLE TO THE BRICK SURFACE TO AVOID DAMAGING THE MORTAR WORK IN SMALL SECTIONS, OVERLAPPING EACH PASS SLIGHTLY TO ENSURE THOROUGH CLEANING.
- 7) FOR STUBBORN STAINS, USE A BRUSH OR SCRUBBER TO AGITATE THE DETERGENT ON THE AFFECTED AREAS BEFORE RINSING WITH THE PRESSURE WASHER.
- 8) ONCE YOU'VE CLEANED ALL SURFACES, RINSE THE BUILDINGS THOROUGHLY WITH CLEAN WATER TO REMOVE ANY DETERGENT RESIDUE.
- 9) MIX OR PREPARE THE SEALER ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- 10) USE A BRUSH, ROLLER, OR SPRAYER TO APPLY THE SEALER EVENLY TO THE CLEAN, DRY BRICK SURFACES. WORK IN SMALL SECTIONS.
- 11) LET THE SEALER DRY COMPLETELY ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS BEFORE ALLOWING ANY CONTACT WITH THE SURFACES.
- 12) APPLY SEALANT AS RECOMMENDED IN A NUMBER OF COATS NECESSARY TO ACHIEVE A UNIFORM APPEARANCE.
- 13) ONCE THE SEALER IS DRY, INSPECT THE BUILDINGS FOR ANY MISSED SPOTS OR UNEVEN COVERAGE. TOUCH UP AS NEEDED.
- 14) CONDUCT A FINAL INSPECTION TO ENSURE ALL BUILDINGS ARE CLEAN, SEALED, AND FREE FROM ANY DAMAGE.

GENERAL NOTES

1. ALL DEMOLITION DEBRIS, WASTE MATERIAL, RUBBISH AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED. MAINTAIN ROLL-OFF BOXES OR OTHER SUITABLE MEANS TO COLLECT AND CONTAINERIZE DEMOLITION MATERIALS.
2. CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF-SITE FACILITY, ALL ROLL-OFF BOXES AND/OR DUMPSTERS WHEN FULL.
3. CONTRACTOR SHALL EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK, INCLUDING BUT NOT LIMITED TO ELEMENTS OF BUILDING AND SITE SUBJECT TO DAMAGE AS A RESULT OF ROOF WORK.
4. FURNISH PROTECTION FROM ELEMENTS FOR AREAS WHICH MAY BE EXPOSED BY UNCOVERING WORK.
5. RESTORE ALL AREAS OF THE SITE AND BUILDING(S) NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITIES UPON COMPLETION OF CONSTRUCTION WORK.
6. BUILDING TYPES AND QUANTITIES ARE SHOWN TO ASSIST THE CONTRACTORS IN BIDDING WORK. HOWEVER, MINOR VARIATIONS IN THE BUILDING TYPES ARE TO BE EXPECTED, THE CONTRACTOR IS TO INSPECT AND VERIFY ALL QUANTITIES IN THE FIELD PRIOR TO BIDDING.
7. REFER TO MASONRY RESTORATION NOTES ON THIS SHEET.
8. REFER TO SHEET A8.01 FOR WINDOW TYPES AND DETAILS.

DRAWING NOTES

1. REFER TO SHEET A1.01 FOR GENERAL DEMOLITION NOTES, NUMBERED DEMOLITION NOTES, GENERAL CONSTRUCTION NOTES AND NUMBERED CONSTRUCTION NOTES.

MASONRY RESTORATION MATRIX

BUILDING NUMBER	AREA TO REPOINT
BUILDING A	20 SF
BUILDING B	2 SF
BUILDING C	66 SF
COMM. BUILDING	15 SF
TOTAL SF	103 SF

MASONRY RESTORATION LEGEND

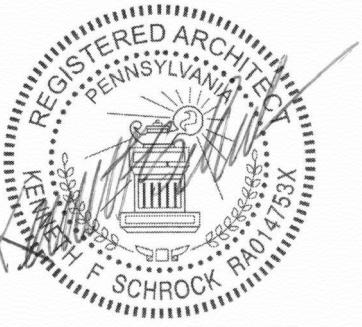
SHADED AREA	DESCRIPTION
	AREA INDICATED ON ELEVATIONS FOR MASONRY REPOINTING



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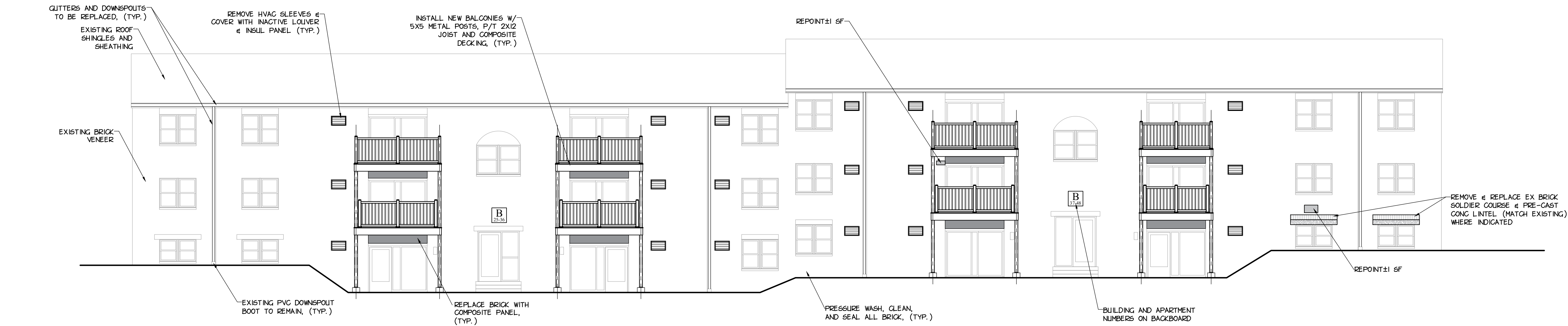
DECEMBER 13, 2024

SHEET NAME

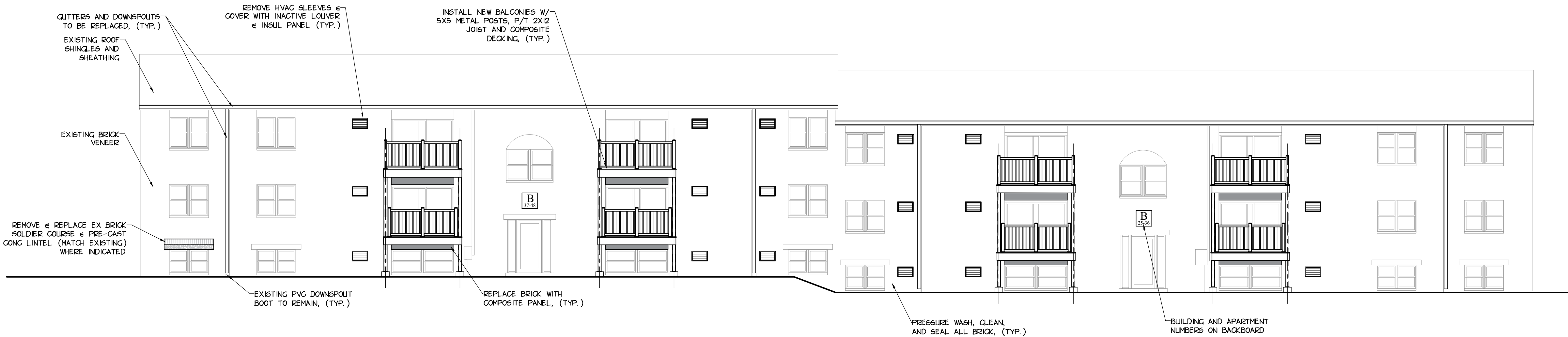
BUILDING B
ELEVATIONS

SHEET NUMBER

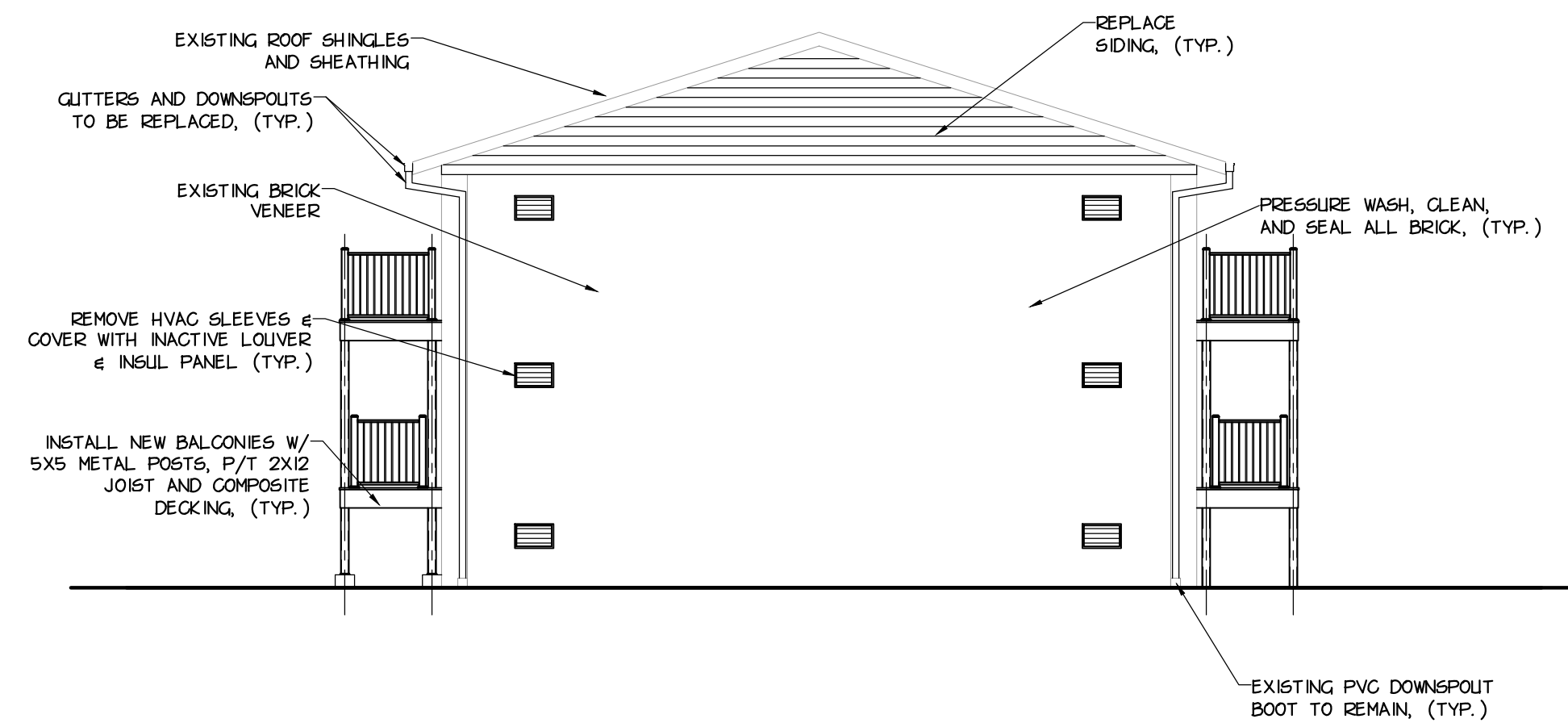
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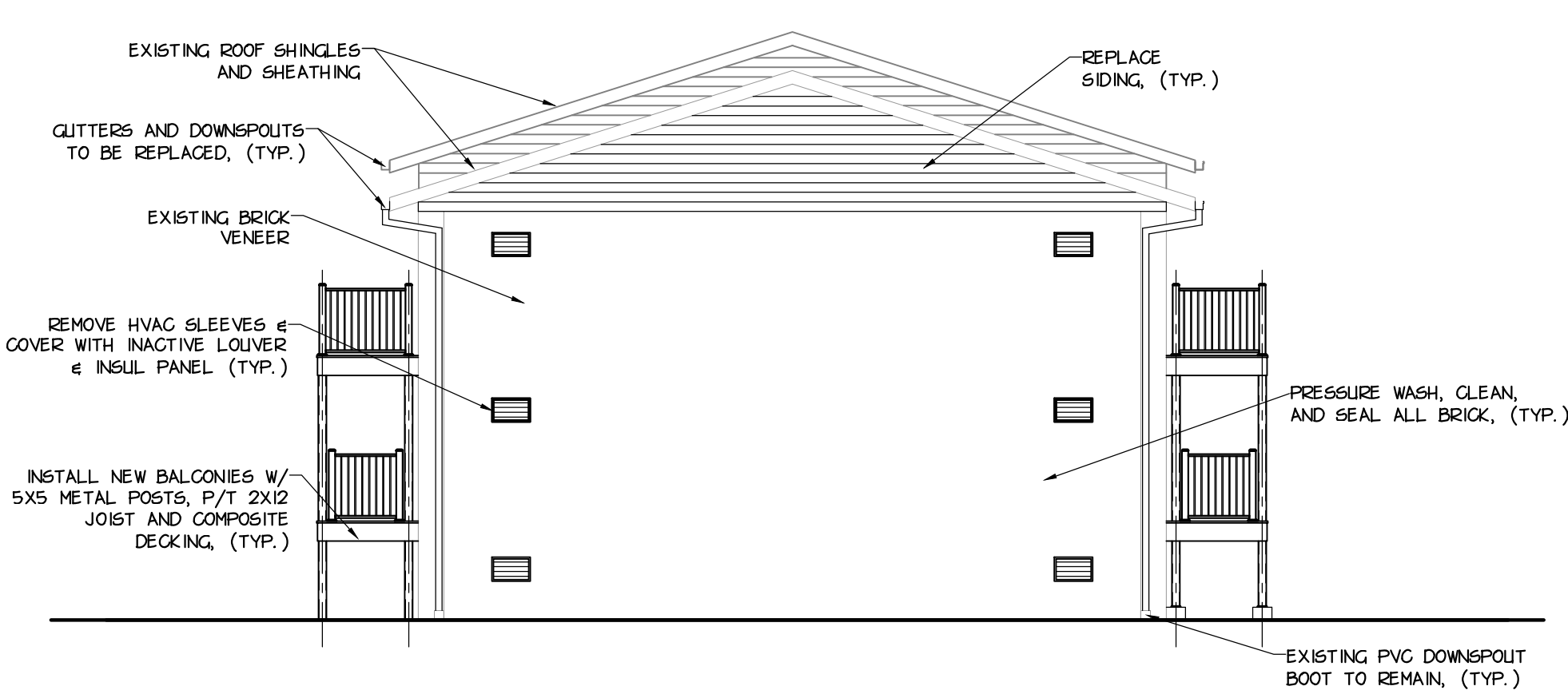
1 FRONT ELEVATION
A2.02 SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
A2.02 SCALE: 1/8" = 1'-0"



3 RIGHT SIDE ELEVATION
A2.02 SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION
A2.02 SCALE: 1/8" = 1'-0"

DRAWING NOTES

- REFER TO SHEET A1.01 FOR GENERAL DEMOLITION NOTES, NUMBERED DEMOLITION NOTES, GENERAL CONSTRUCTION NOTES AND NUMBERED CONSTRUCTION NOTES. REFER TO SHEET A2.01 FOR MASONRY RESTORATION NOTES.



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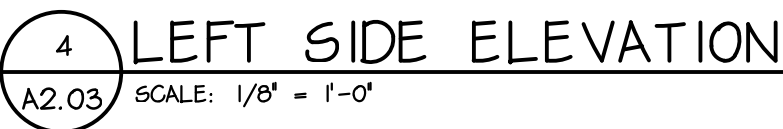
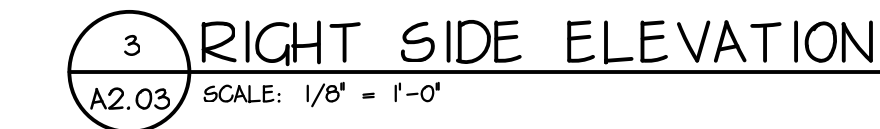
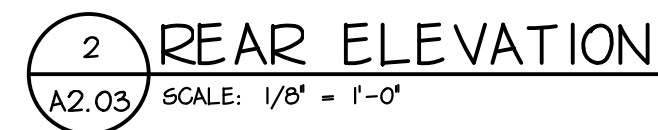
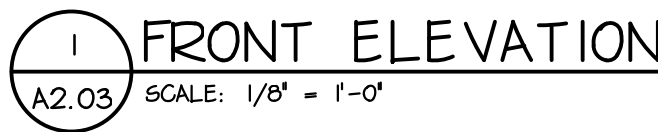
BUILDING C ELEVATIONS

EET NUMBER

DRAWING NOTES

I. REFER TO SHEET A1.01 FOR GENERAL DEMOLITION NOTES, NUMBERED DEMOLITION NOTES, GENERAL CONSTRUCTION NOTES AND NUMBERED CONSTRUCTION NOTES. REFER TO SHEET A2.01 FOR MASONRY RESTORATION NOTES.

A2.03





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PROJECT NUMBER
D01-077-01

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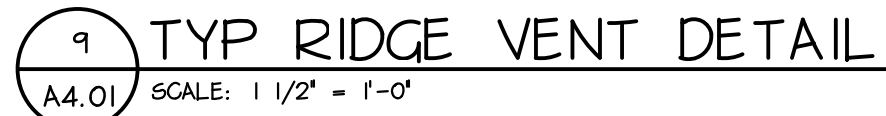
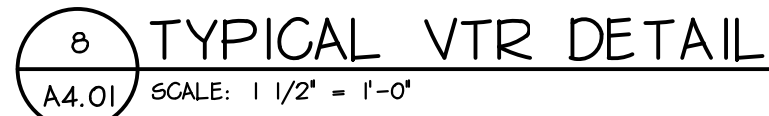
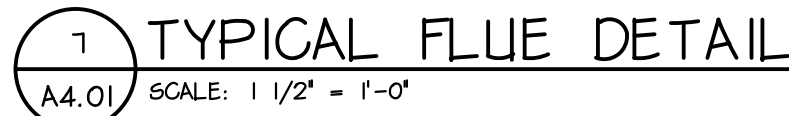
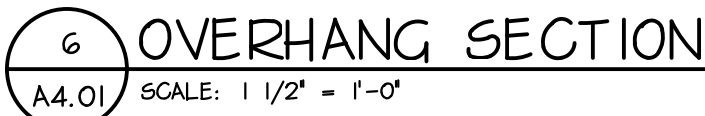
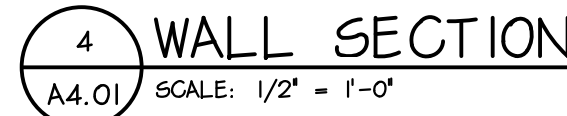
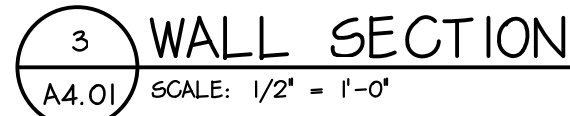
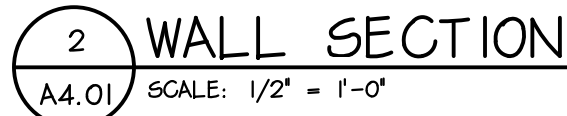
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EET NAME

WALL SECTIONS

EET NUMBER

A4.01

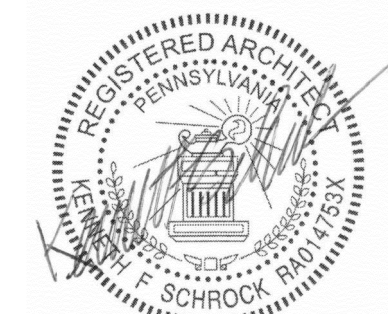




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PROJECT

**NEW STANTON
MANOR
EXTERIOR
RENOVATIONS**

OWNER

**WESTMORELAND
COUNTY
HOUSING
AUTHORITY**

PROJECT NUMBER

R24-077-01

ISSUED FOR

BIDDING

ISSUE DATE

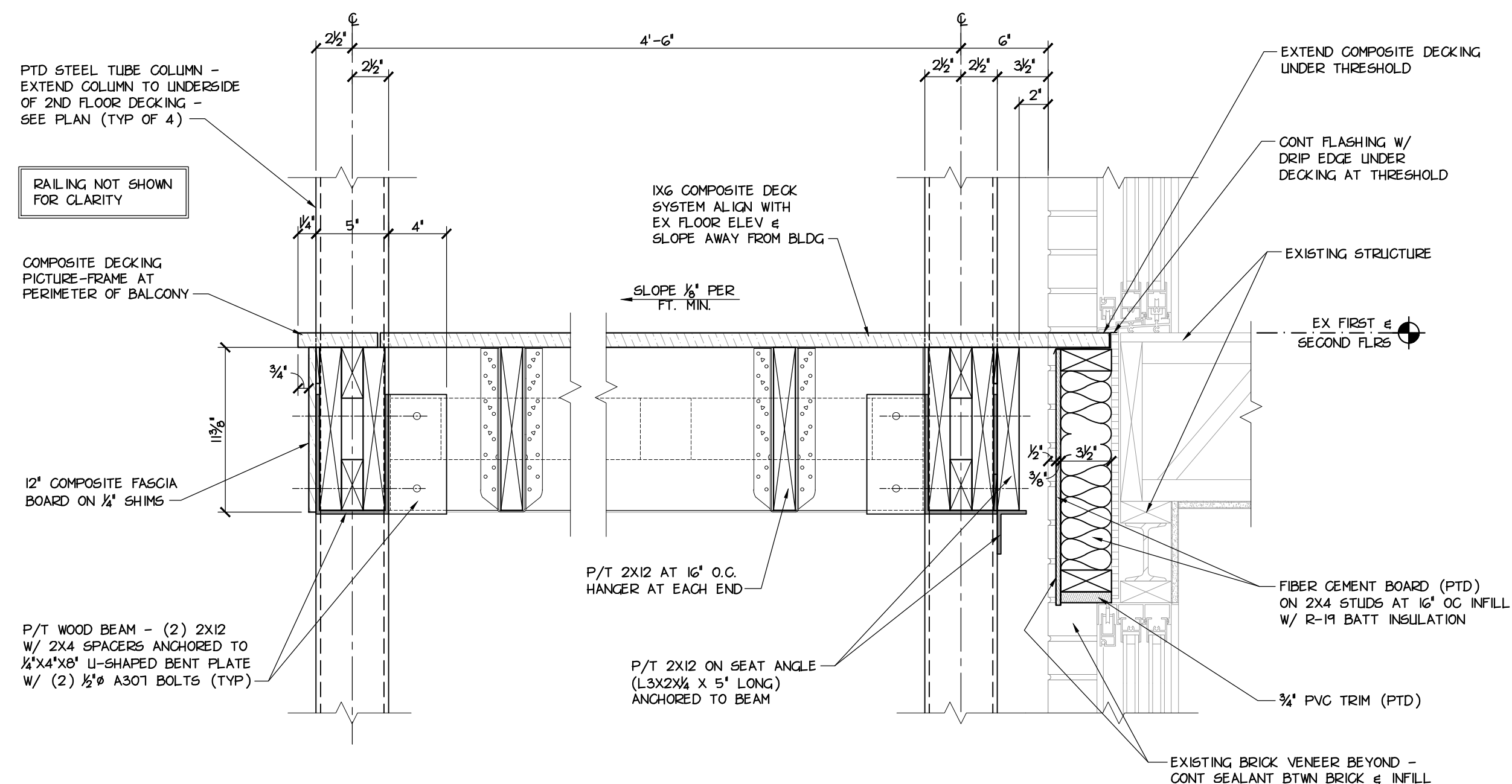
DECEMBER 13, 2024

SHEET NAME

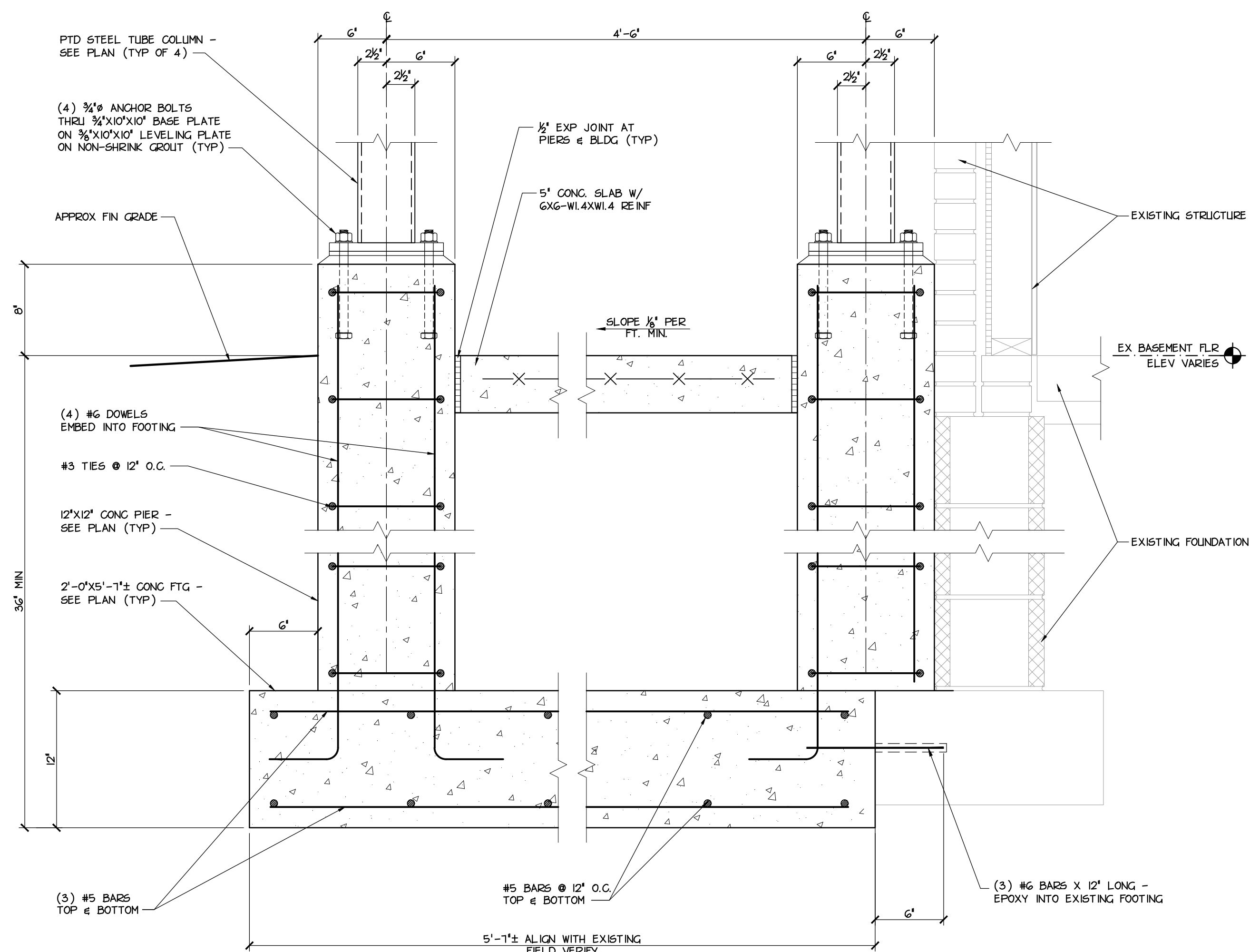
DETAILS

SHEET NUMBER

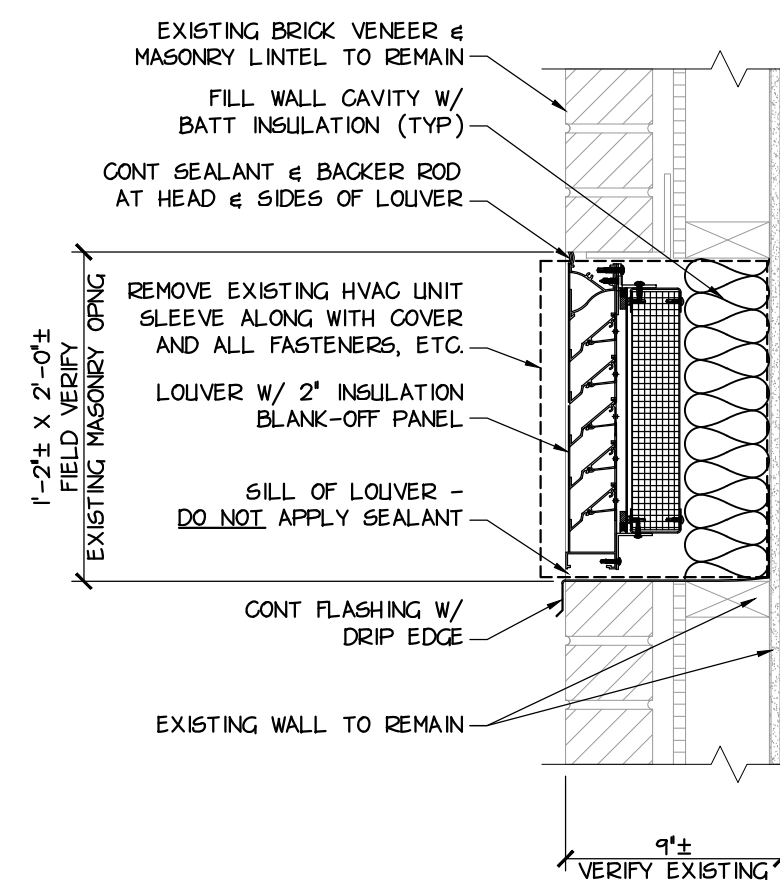
A5.01



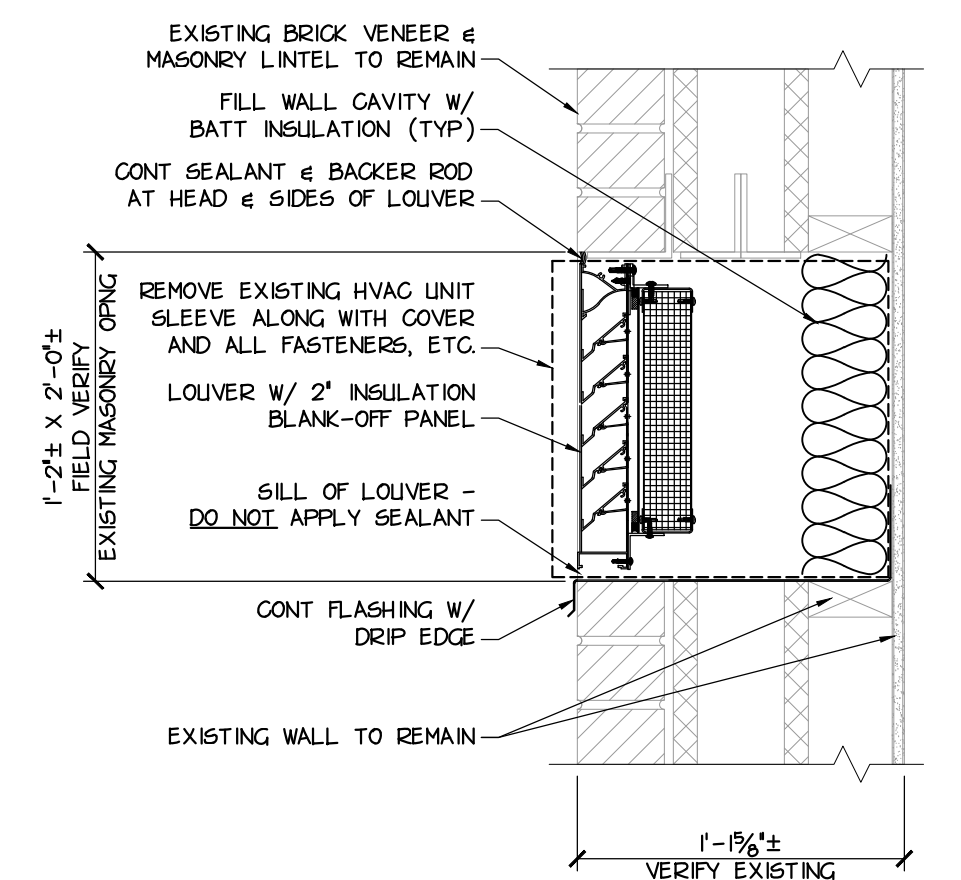
1 COLUMN DETAIL
SCALE: 1 1/2" = 1'-0"



2 PIER & FOOTING DETAIL
SCALE: 1 1/2" = 1'-0"

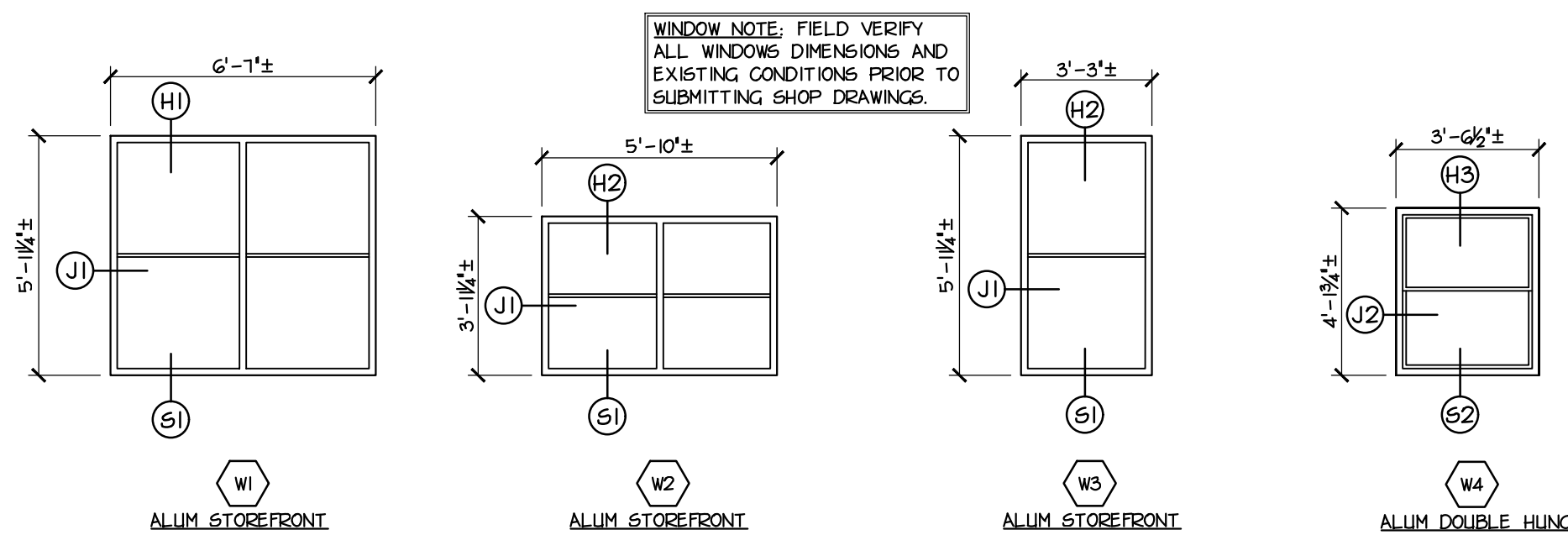


EXISTING 9" EXTERIOR WALL

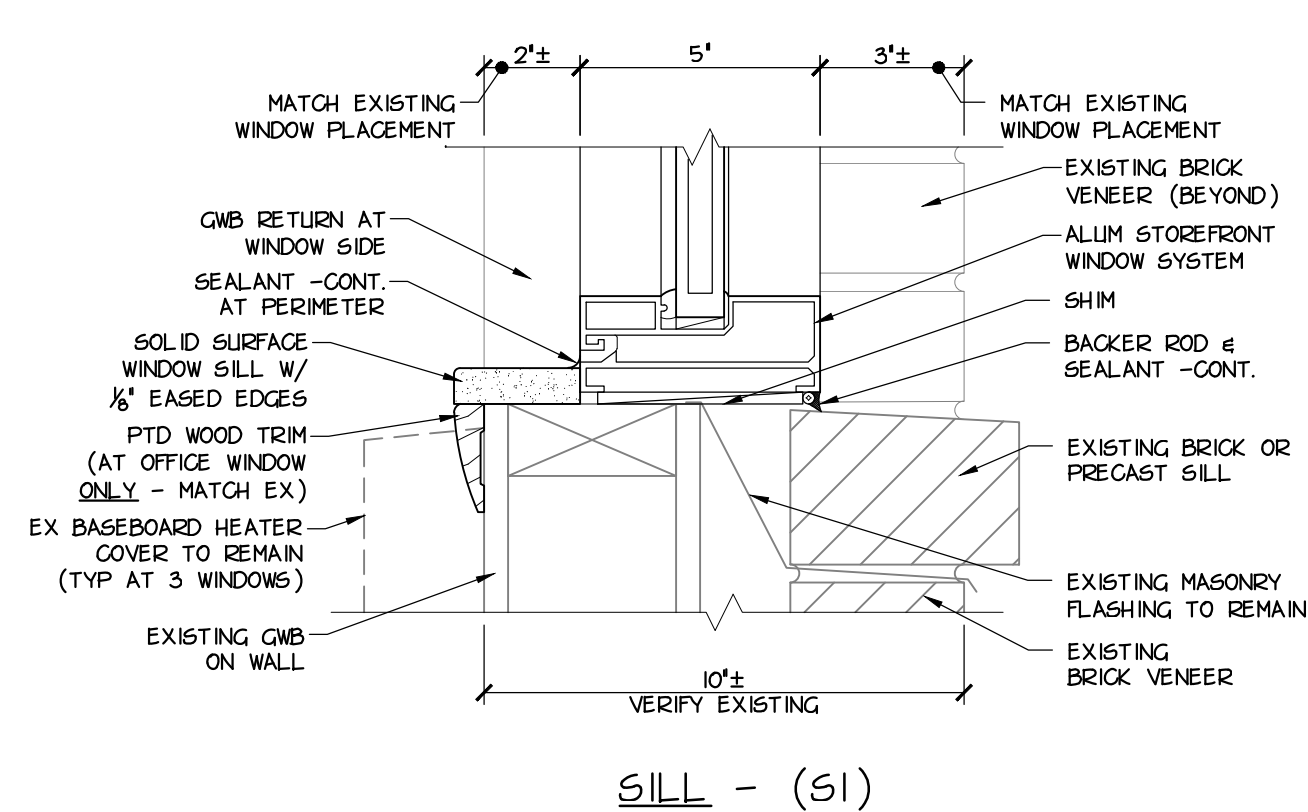
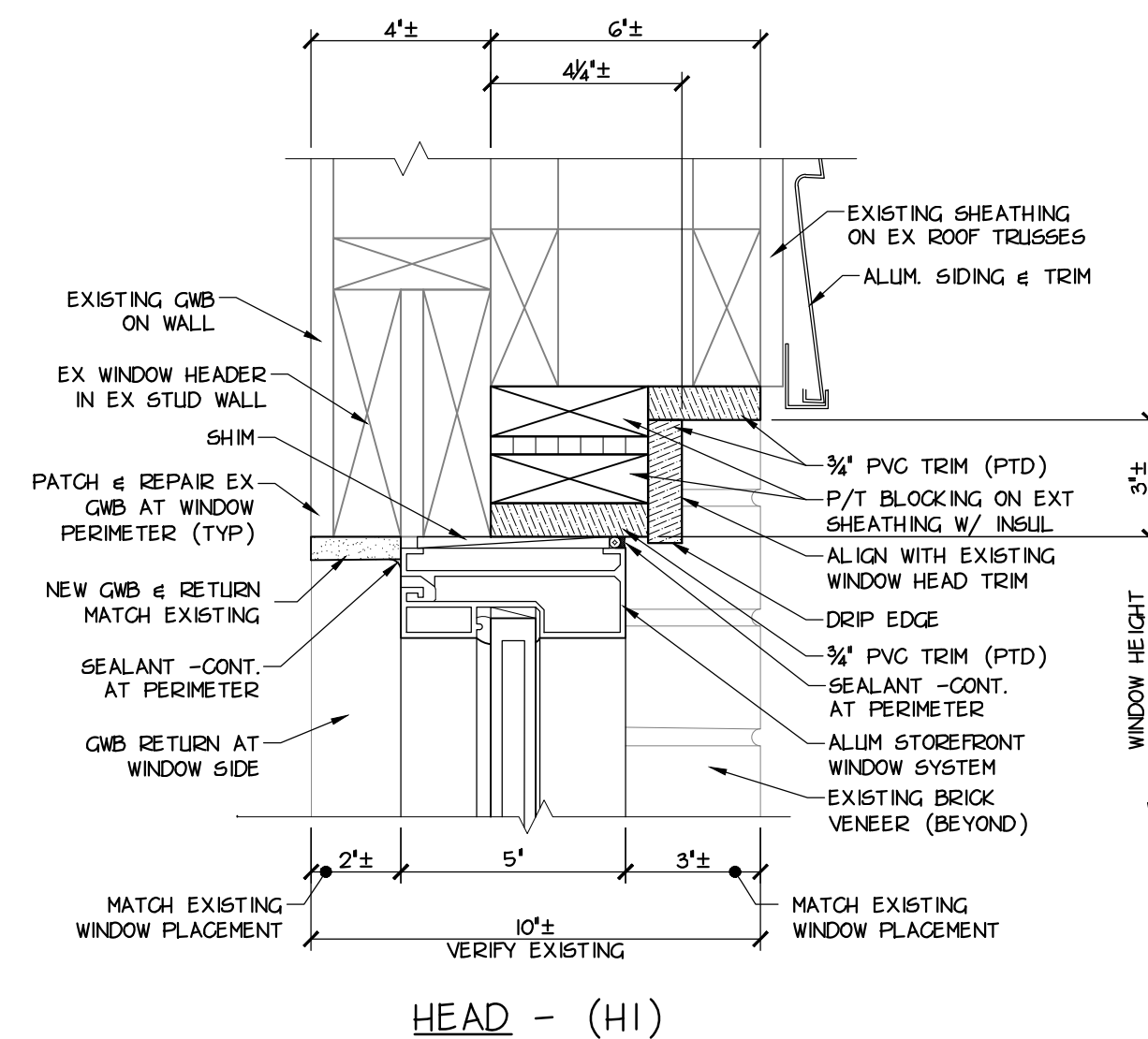
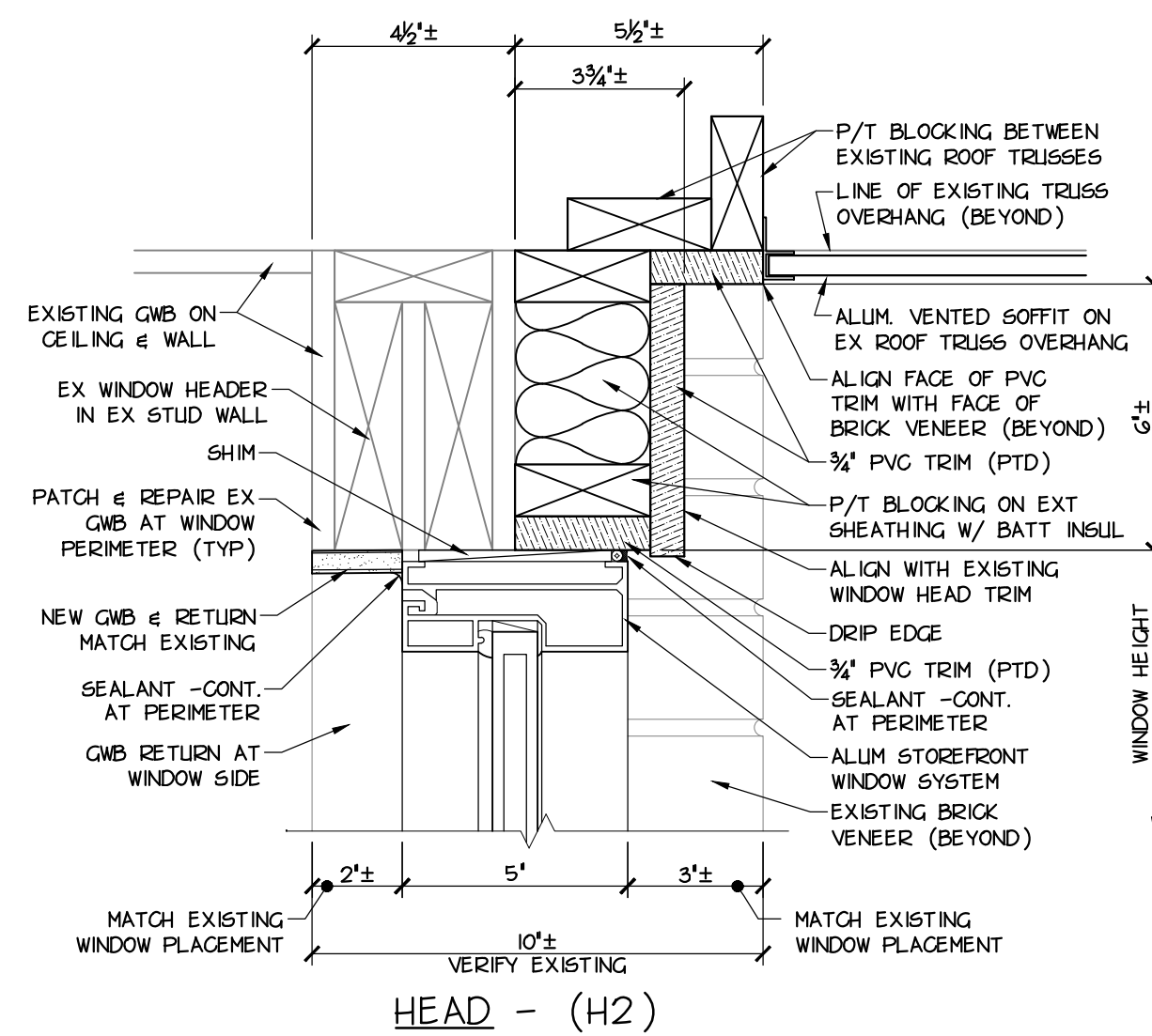


EXISTING 14" EXTERIOR WALL

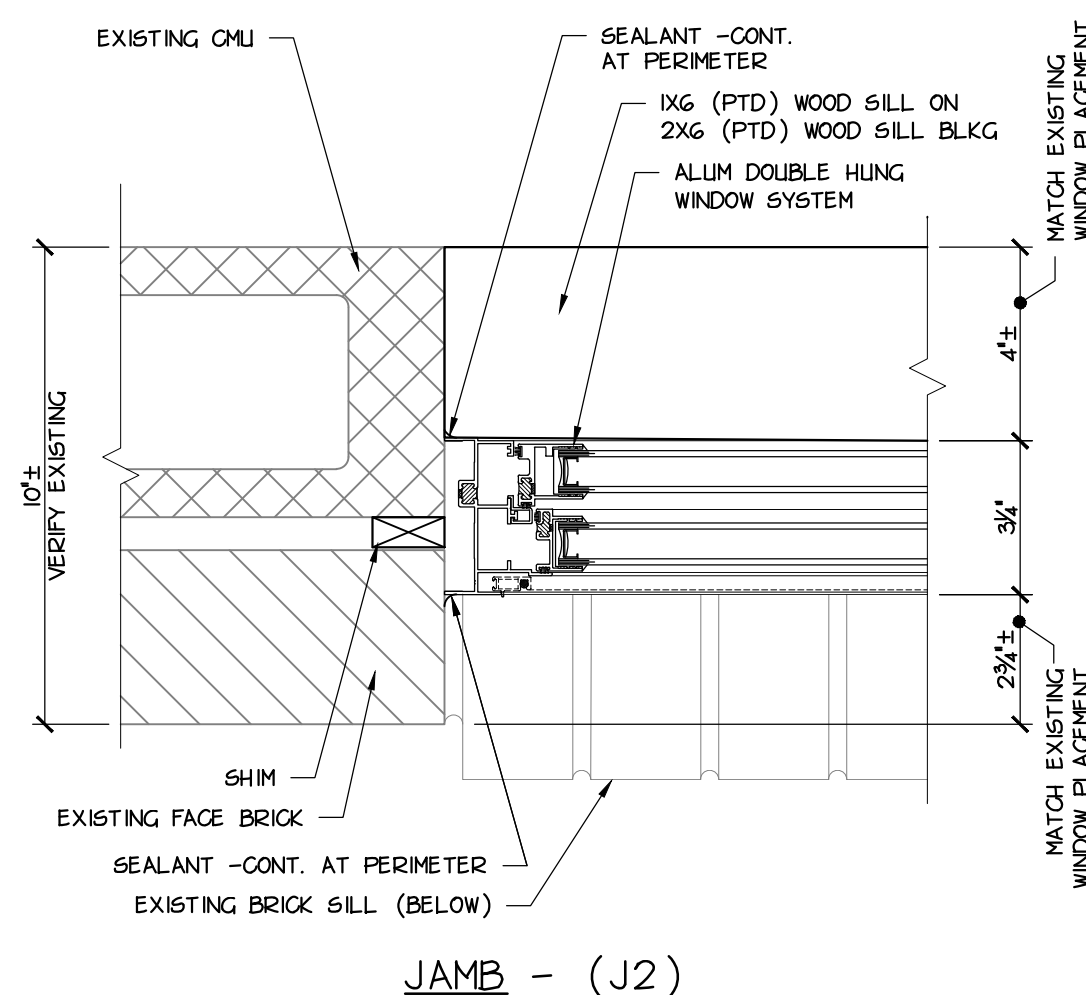
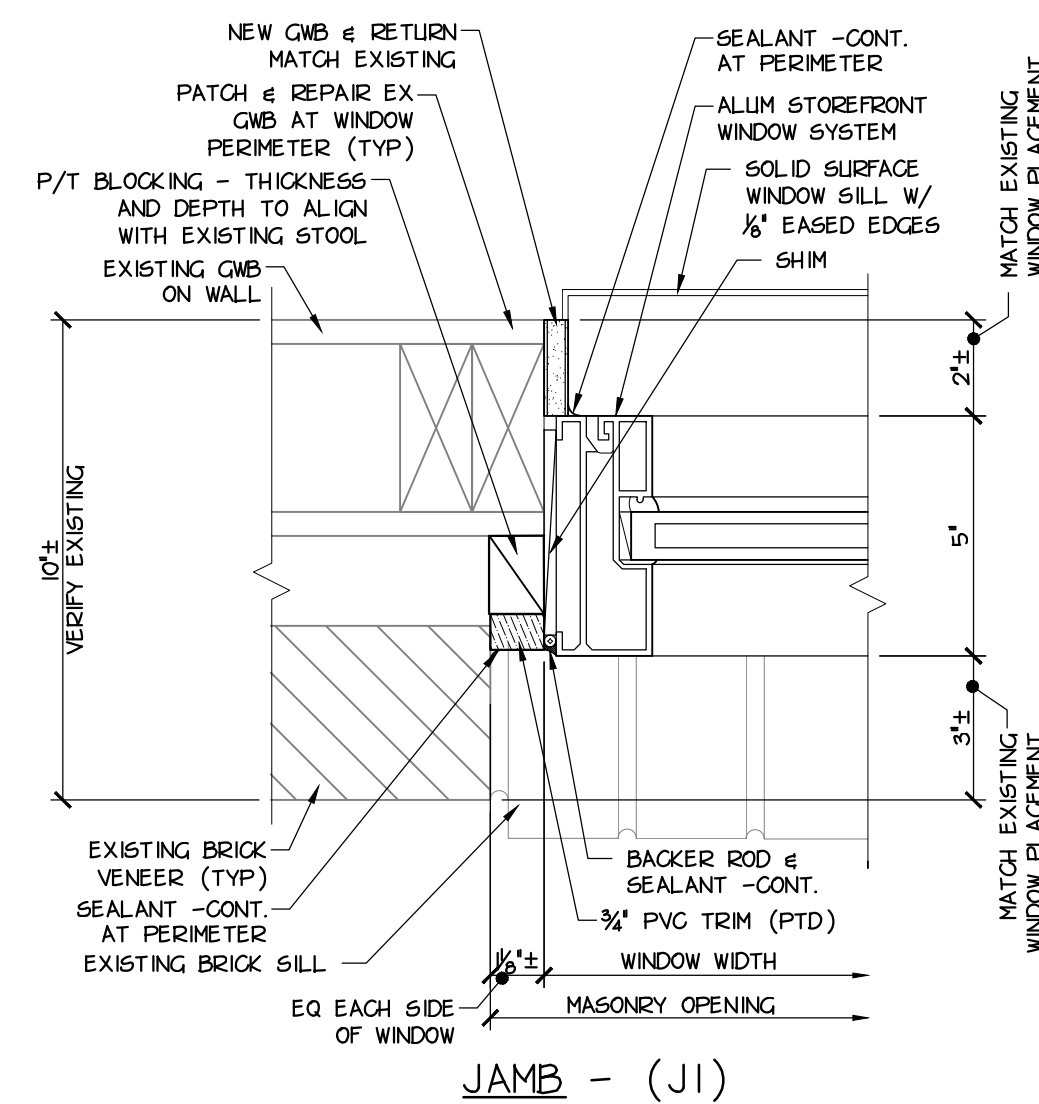
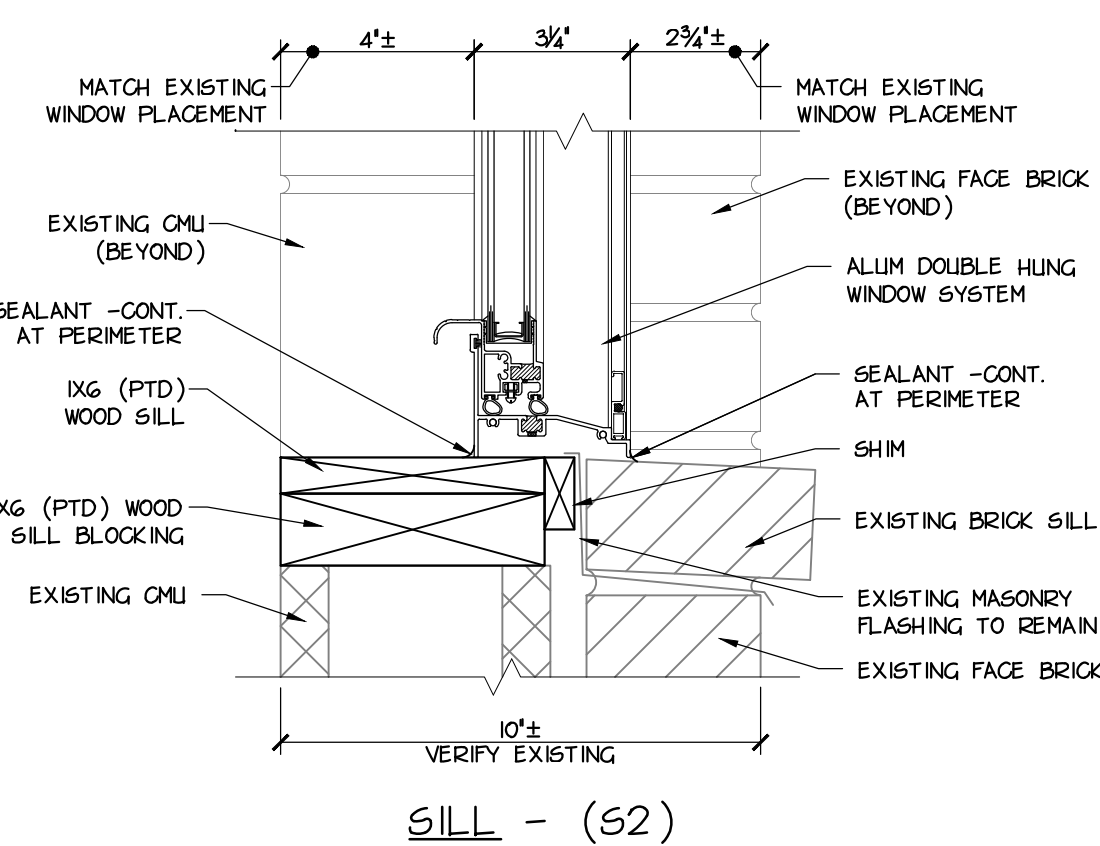
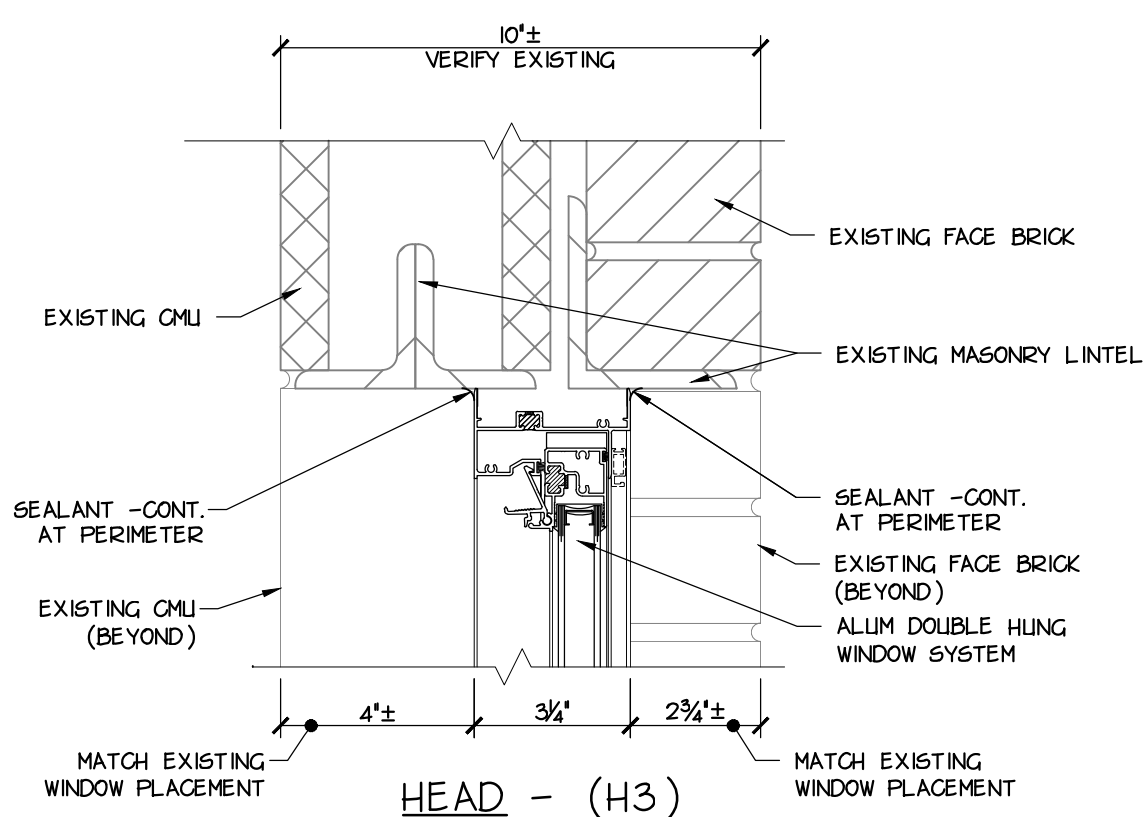
3 LOUVER DETAILS
SCALE: 1 1/2" = 1'-0"



1 WINDOW TYPES
A8.01 SCALE: 1/4" = 1'-0"



2 WINDOW DETAILS
A8.01 SCALE: 3/4" = 1'-0"



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SHEET NAME

WINDOW
TYPES AND
DETAILS

SHEET NUMBER

A8.01