

MULTI - SITE FLOORING REPLACEMENT PROJECT  
FOR THE  
WESTMORELAND COUNTY HOUSING  
AUTHORITY

154 SOUTH GREENGATE ROAD  
GREENSBURG, PA 15601-6392

CANZIAN / JOHNSTON & ASSOCIATES LLC

A R C H I T E C T S

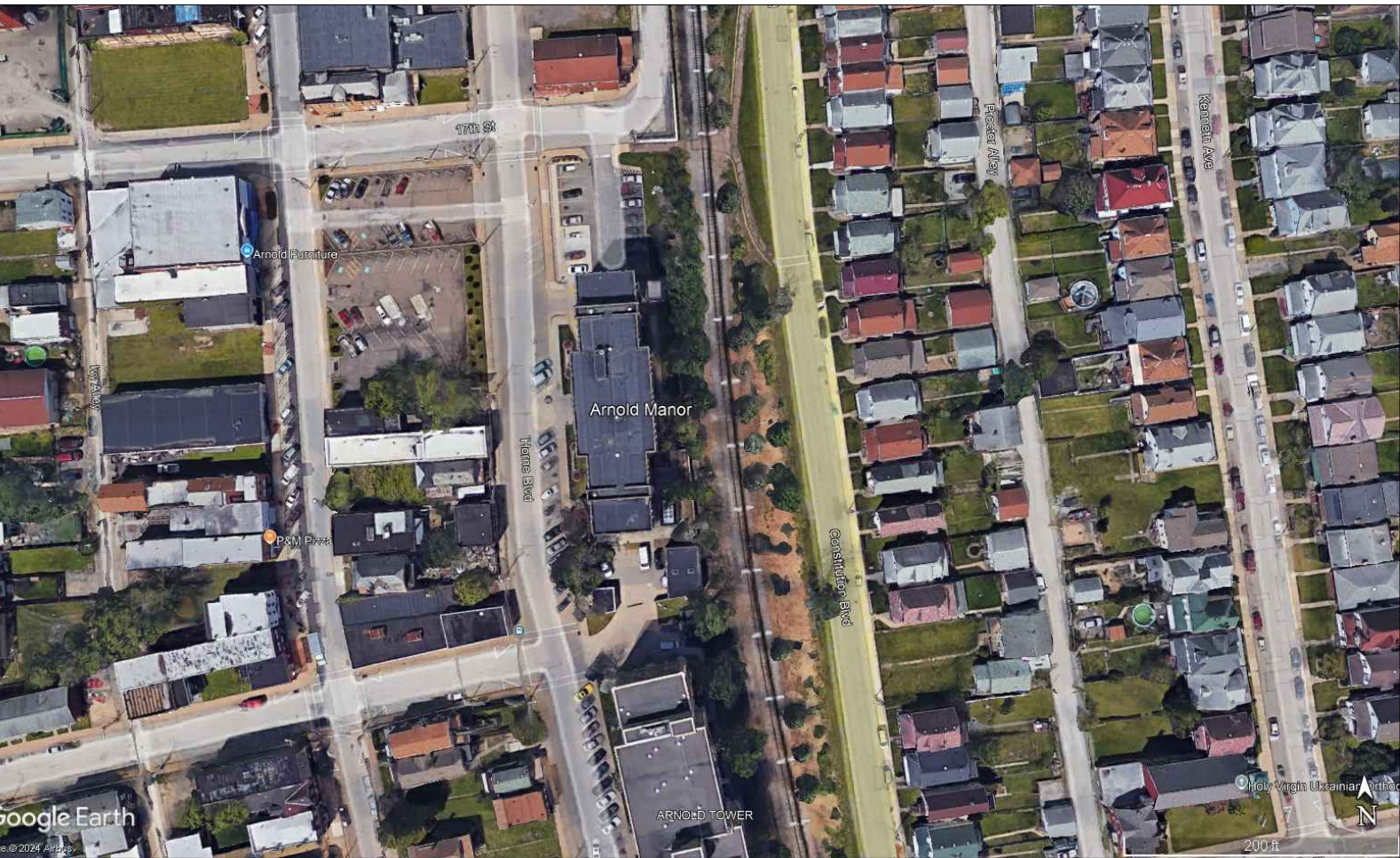
361 MAIN STREET

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NEW KENSINGTON, PENNSYLVANIA 15068

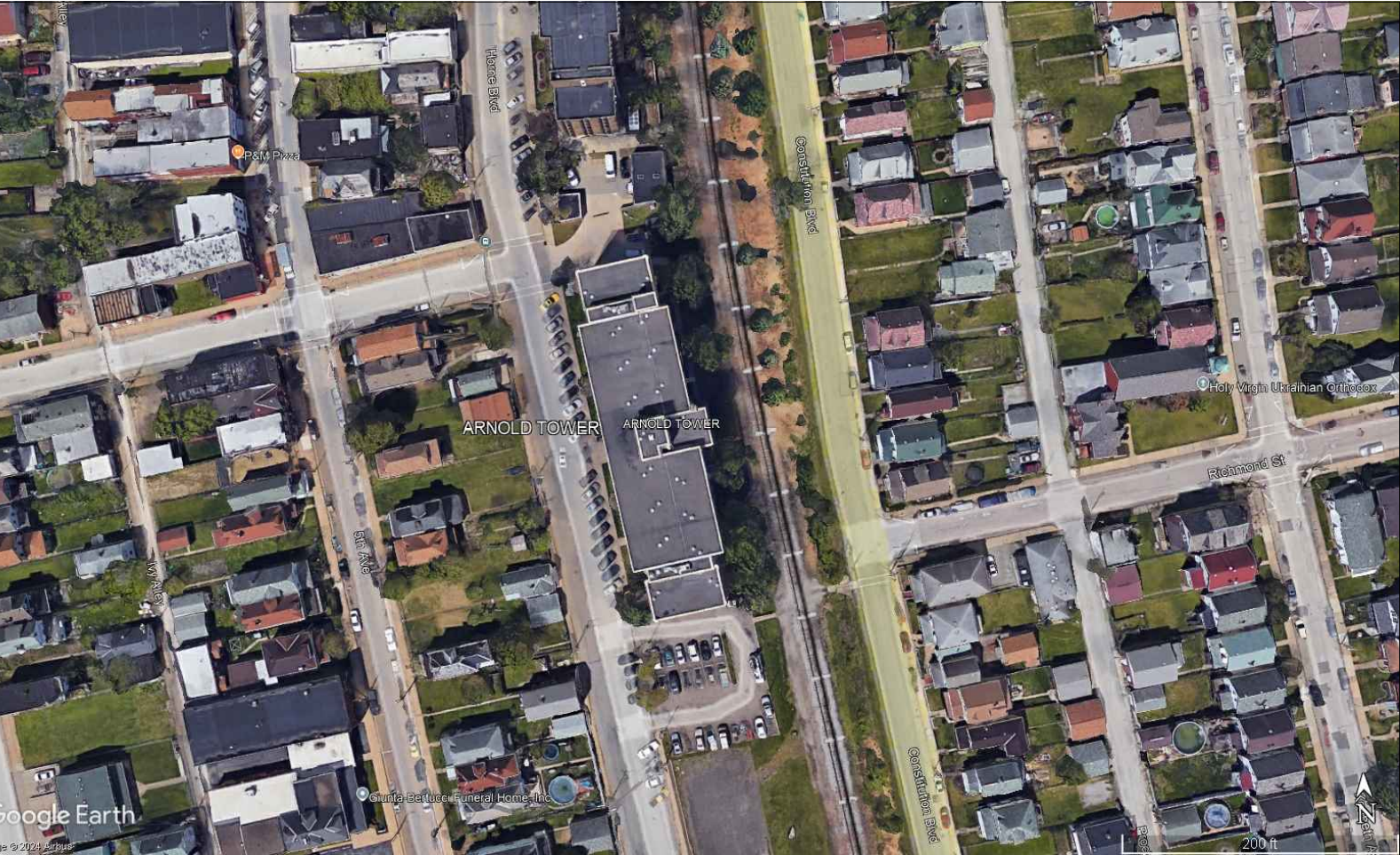
fax 724.339.1492

CJAarchitects.com



SITE LOCATION MAP - PARNASSUS MANOR  
SCALE: N.T.S.

1  
CS



SITE LOCATION MAP - ARNOLD TOWERS  
SCALE: N.T.S.

3  
CS

PA18-15 PARNASSUS MANOR  
325 MAIN STREET  
NEW KENSINGTON, PA 15068

PA18-11 MCMURTRY TOWERS  
LINCOLN AVENUE  
VANDERGRIFT, PA 15690

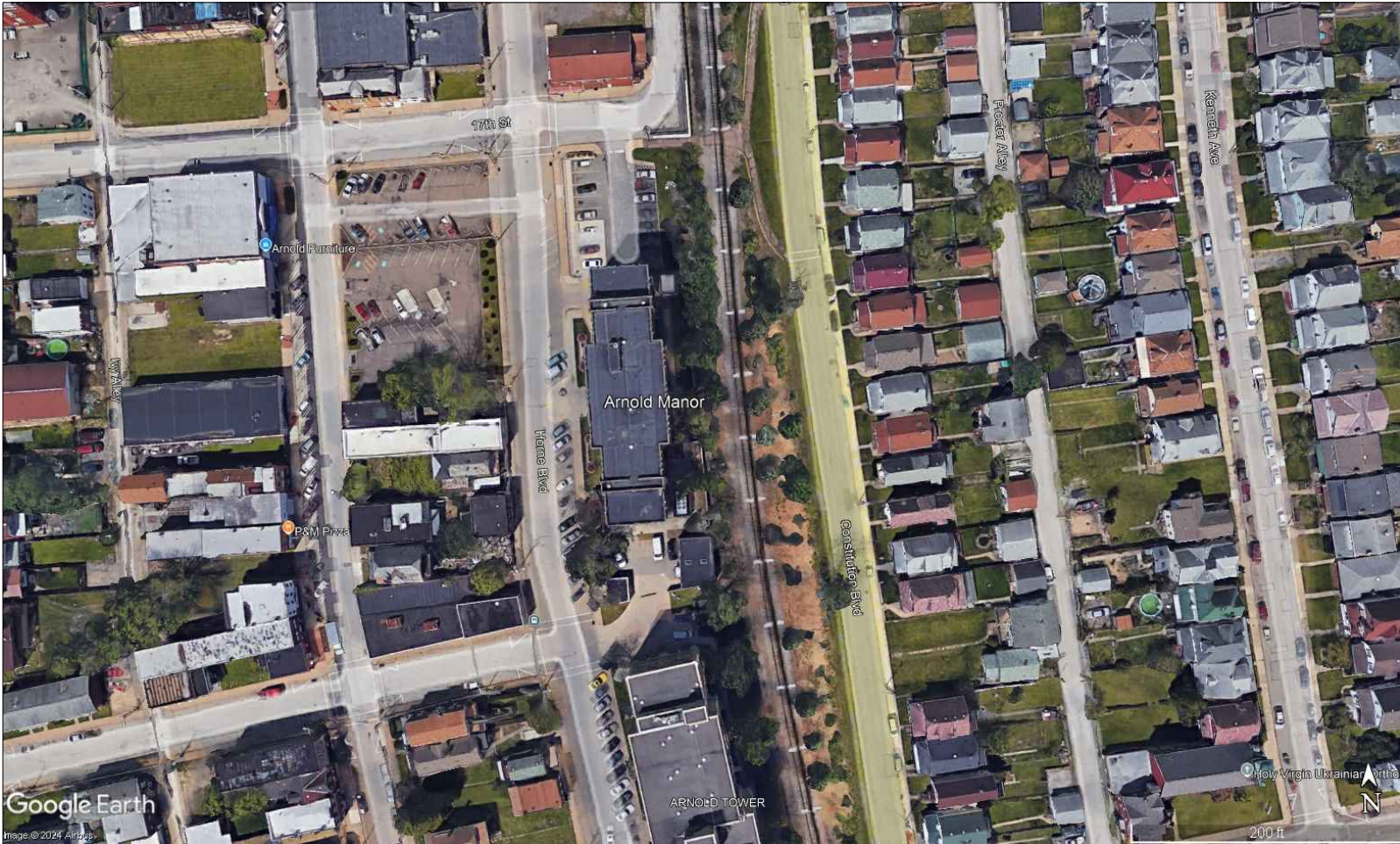
PA28-8-01 ARNOLD TOWERS  
1528 HORNE BOULEVARD  
ARNOLD, PA 15068

PA18-09 ARNOLD MANOR  
1632 HORNE BOULEVARD  
ARNOLD, PA 15068



SITE LOCATION MAP - MCMURTRY TOWERS  
SCALE: N.T.S.

2  
CS



SITE LOCATION MAP - ARNOLD MANOR  
SCALE: N.T.S.

4  
CS

DRAWING LIST

CS	COVER SHEET
A101-PM	FIRST, SECOND THRU SIXTH, AND SEVENTH FLOOR COMPOSITE PLANS AND FINISH SCHEDULE
A102-PM	ENLARGED FLOOR PATTERN PLANS
A103-MT	FIRST FLOOR PLAN AND FINISH SCHEDULE
A104-MT	ENLARGED FLOOR PATTERN PLANS
A105-AT	FIRST FLOOR COMPOSITE PLAN AND ENLARGED FLOOR PATTERN PLAN
A106-AM	FIRST FLOOR COMPOSITE PLAN AND ENLARGED FLOOR PATTERN PLAN

GENERAL NOTES:

- A. ALL CONSTRUCTION WORK SHALL CONFORM WITH THE APPLICABLE CODES AND ORDINANCES OF THE LOCAL JURISDICTION, THE COUNTY, PENNSYLVANIA AS WELL AS THE FEDERAL. THE CONTRACTOR(S) SHALL POST NOTICES AND COMPLY WITH THE GOVERNING LAWS OF THE JURISDICTION. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AS REQUIRED BY ALL APPLICABLE CODES AND GOVERNING AUTHORITIES.
- B. THE WORK SHALL BE PROPERLY SUPERVISED BY THE CONTRACTORS JOB SITE SUPERINTENDENT. SUFFICIENT PERSONNEL SHALL BE EMPLOYED TO COMPLETE THE WORK WITHIN THE CONTRACT TIME. PERSONNEL SHALL BE SKILLED IN THE TASK(S) ASSIGNED.
- C. THE CONTRACTOR(S) SHALL AT ALL TIMES MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD THE PUBLIC AND ALL PERSONS ENGAGED IN THE PERFORMANCE OF WORK. CONTRACTORS SHALL TAKE PRECAUTIONARY MEASURES TO ENSURE THE SAFETY OF THE PUBLIC ON AND SURROUNDING THE SITE DURING ALL CONSTRUCTION ACTIVITIES.
- D. THE CONTRACTOR(S) SHALL VISIT THE SITE(S) TO PERSONALLY ASCERTAIN THE NATURE OF THE WORK INVOLVED AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE(S) PRIOR TO THE SUBMISSION OF A BID. THE CONTRACTOR(S) IS/ARE RESPONSIBLE FOR BECOMING FAMILIAR WITH THE EXISTING CONDITIONS. ALL DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE SUBMISSION OF A BID.
- E. THE CONTRACTOR(S) SHALL VERIFY ALL LINES, LEVELS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT BEFORE STARTING WORK. RE-CHECK DIMENSIONS PRIOR TO ORDERING MANUFACTURED AND FABRICATED ITEMS. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY CONTRACTOR ON THE SITE; CONTRACTOR(S) IS/ARE RESPONSIBLE FOR PROPER FIT OF ALL WORK. THE DRAWINGS ARE DIAGRAMMATIC; CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AT THE SITE PRIOR TO ANY INSTALLATION.
- F. PROTECT ALL UTILITY LINES DURING CONSTRUCTION, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT. PRIME CONTRACTOR(S) SHALL VERIFY THE LOCATION(S) AND, WHERE NECESSARY, THE DEPTH OR HEIGHT OF ALL UTILITIES, REGARDLESS OF OWNERSHIP OF UTILITIES, PUBLIC OR PRIVATE, PRIOR TO CONSTRUCTION. PRIME CONTRACTOR(S) SHALL ANTICIPATE ALL WORK REQUIRED AND INCLUDE THESE ITEMS AS PART OF THEIR BASE BID. PRIME CONTRACTOR(S) SHALL TAKE ALL NECESSARY PRECAUTIONS AND SAFETY MEASURES IN AND AROUND EXISTING UTILITIES, INCLUDING LOCATING THE EXISTING UTILITIES, BURIED AND ABOVE GROUND, IN AND AROUND ALL NEW CONSTRUCTION; SUPPORT ANY EXPOSED UTILITIES FOUND OR UNCOVERED DURING THE COURSE OF CONSTRUCTION; IN THE EVENT UTILITIES ARE DAMAGED DURING CONSTRUCTION, THE PRIME CONTRACTOR RESPONSIBLE FOR THE DAMAGE SHALL REPAIR ANY AND ALL DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING UTILITIES IN A MANNER CONSISTENT WITH ALL PERTINENT FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC., INCLUDING ALL UTILITY REGULATIONS GOVERNING THE DAMAGED UTILITY/SERVICE; ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE THE SOLE RESPONSIBILITY OF THE PRIME CONTRACTOR.
- G. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE INFORMATION FOUND WITHIN ALL CONTRACT DOCUMENTS, IN SO FAR AS SUCH INFORMATION PERTAINS TO THE CONTRACTOR, INCLUDING BUT NOT LIMITED TO ALL DRAWINGS, DRAWING SHEETS, SPECIFICATIONS, ETC.; WHERE ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL, ETC., DRAWINGS INDICATE WORK TO BE COMPLETED, WHETHER PROVIDED, FURNISHED OR INSTALLED, BY A PRIME CONTRACTOR, THE PRESCRIBED PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR THAT WORK; RESPONSIBILITY SHALL EXTEND TO APPLICABLE GENERAL NOTES, SPECIFIC NOTATIONS, SCHEDULES, ETC.
- H. ALL AREAS DISTURBED DUE TO CONTRACTOR ACTIVITIES DURING CONSTRUCTION, SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION/APPEARANCE.
- I. THE CONTRACTOR SHALL NOT BLOCK OR DELAY ANY PUBLIC ROAD OR ACCESS DRIVE TO THE SITE AND SHALL MAINTAIN ACCESS AND SERVICES TO ALL OWNERS FACILITIES AND UTILITIES AT ALL TIMES.
- J. SEALANTS SHALL BE PROVIDED AT ALL JOINTS WHERE DIFFERENT MATERIALS ABUT.
- K. INFORMATION FOR THESE DOCUMENTS HAS BEEN GATHERED FROM AVAILABLE SOURCES INCLUDING PREVIOUS PROJECT RECORD DOCUMENTS. THERE IS NO INTENT TO GUARANTEE THE ACCURACY AND COMPLETENESS OF THIS INFORMATION. EACH PRIME CONTRACTOR SHALL INVESTIGATE AND VERIFY ACTUAL CONDITIONS AT THE SITE IN SO FAR AS SUCH INFORMATION AFFECTS INDIVIDUAL CONTRACTS. PREVIOUS PROJECT RECORD DOCUMENTS ARE ON FILE AT THE OFFICES OF CANZIAN/JOHNSTON & ASSOCIATES LLC (CJA) AND SHALL BE MADE AVAILABLE FOR REVIEW BY POTENTIAL BIDDERS AND PRIME CONTRACTORS VIA APPOINTMENT ONLY. POTENTIAL BIDDERS AND PRIME CONTRACTORS SHALL CONTACT THE OFFICES OF CJA TO ARRANGE FOR A TIME TO REVIEW PREVIOUS CONTRACT DOCUMENTS.
- L. THE BUILDINGS WILL BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR(S) SHALL COORDINATE ALL WORK WITH THE WESTMORELAND COUNTY HOUSING AUTHORITY.
- M. CONTRACTOR SHALL COORDINATE LOCATION OF STAGING/STORAGE AREAS WITH THE OWNER.
- N. THE HOUSING AUTHORITY WILL REMOVE ALL FURNITURE IN PUBLIC SPACES AND ALL CONTENTS OF PUBLIC CLOSETS.

Dwg. Revisions:



SEAL

CANZIAN/JOHNSTON  
& ASSOCIATES LLC

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REGISTERED ARCHITECTS



WESTMORELAND COUNTY  
HOUSING AUTHORITY  
MULTI - SITE FLOORING REPLACEMENT PROJECT

COVER-SHEET

Scale: AS NOTED

Date: 01.25.2025

Drawn By: JP

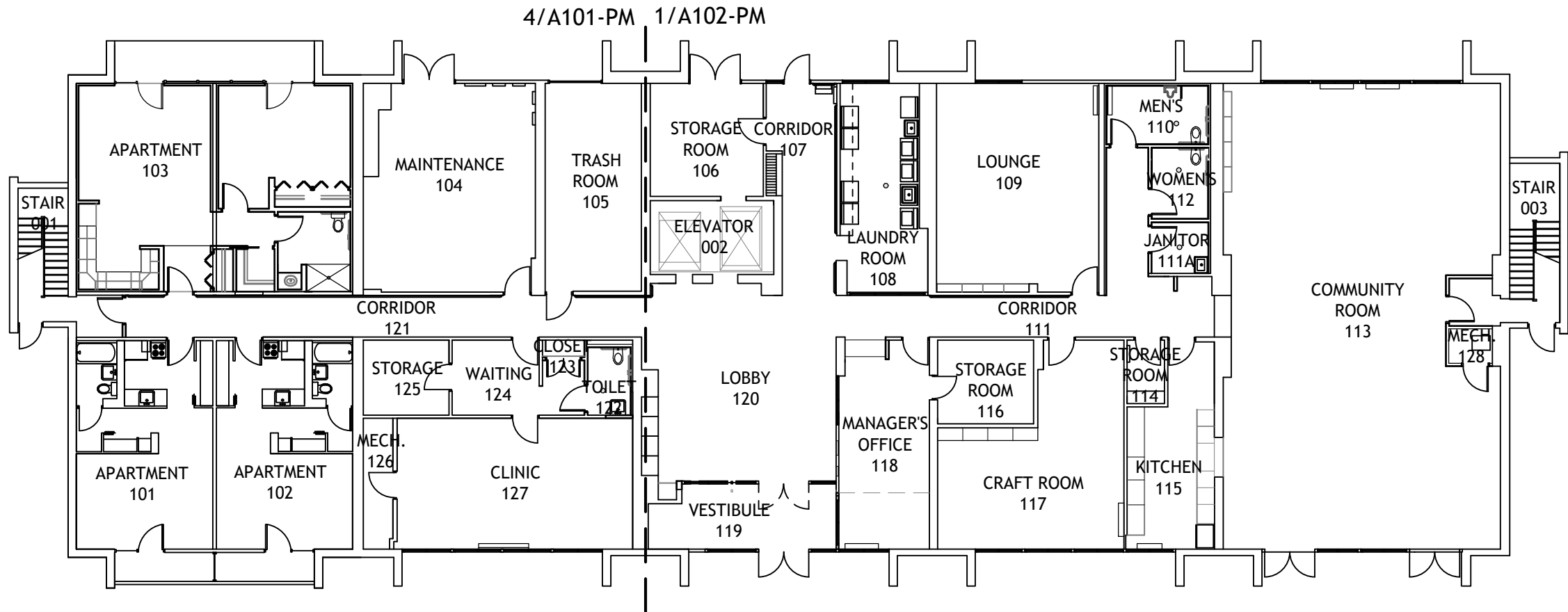
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Project No. 2454

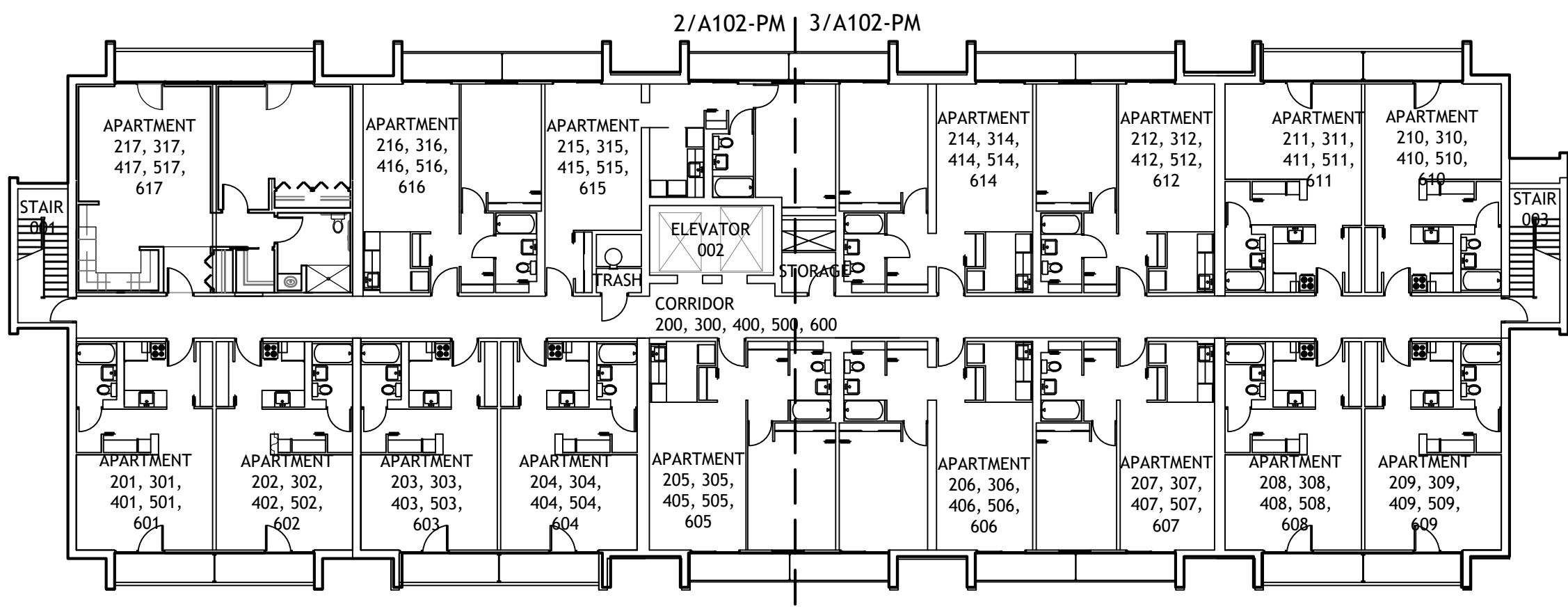
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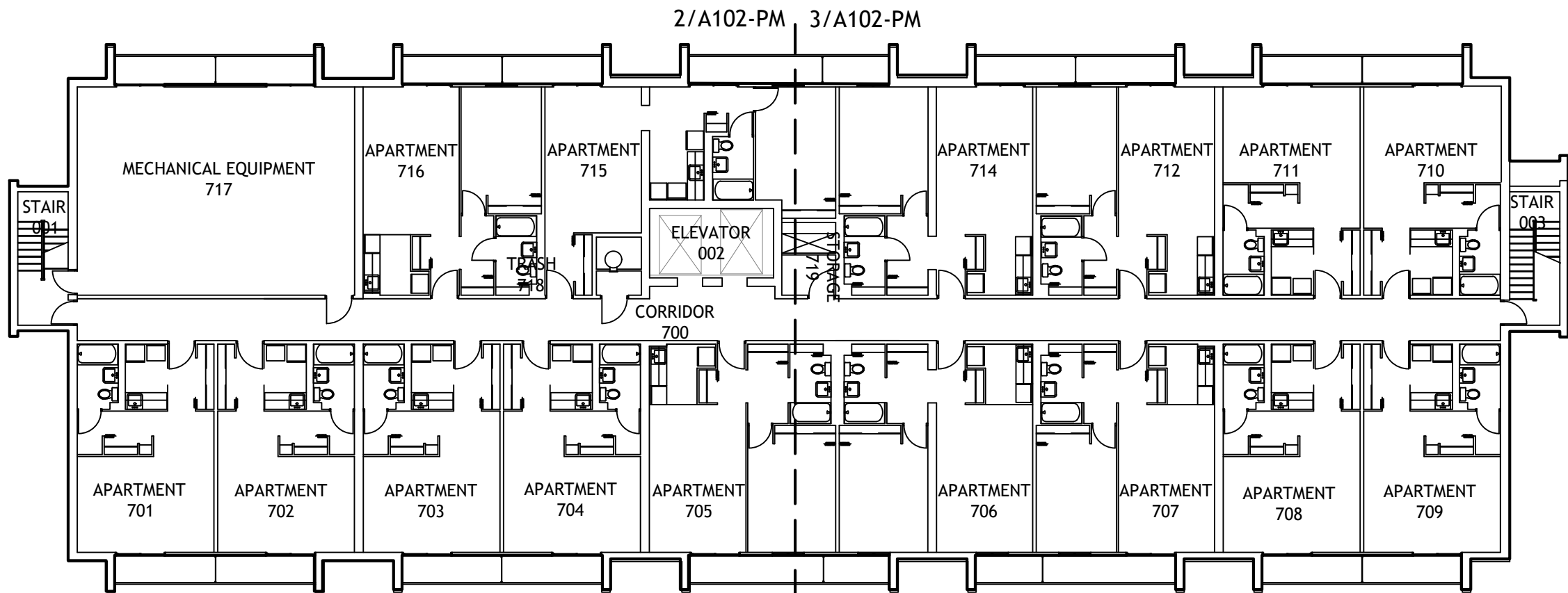




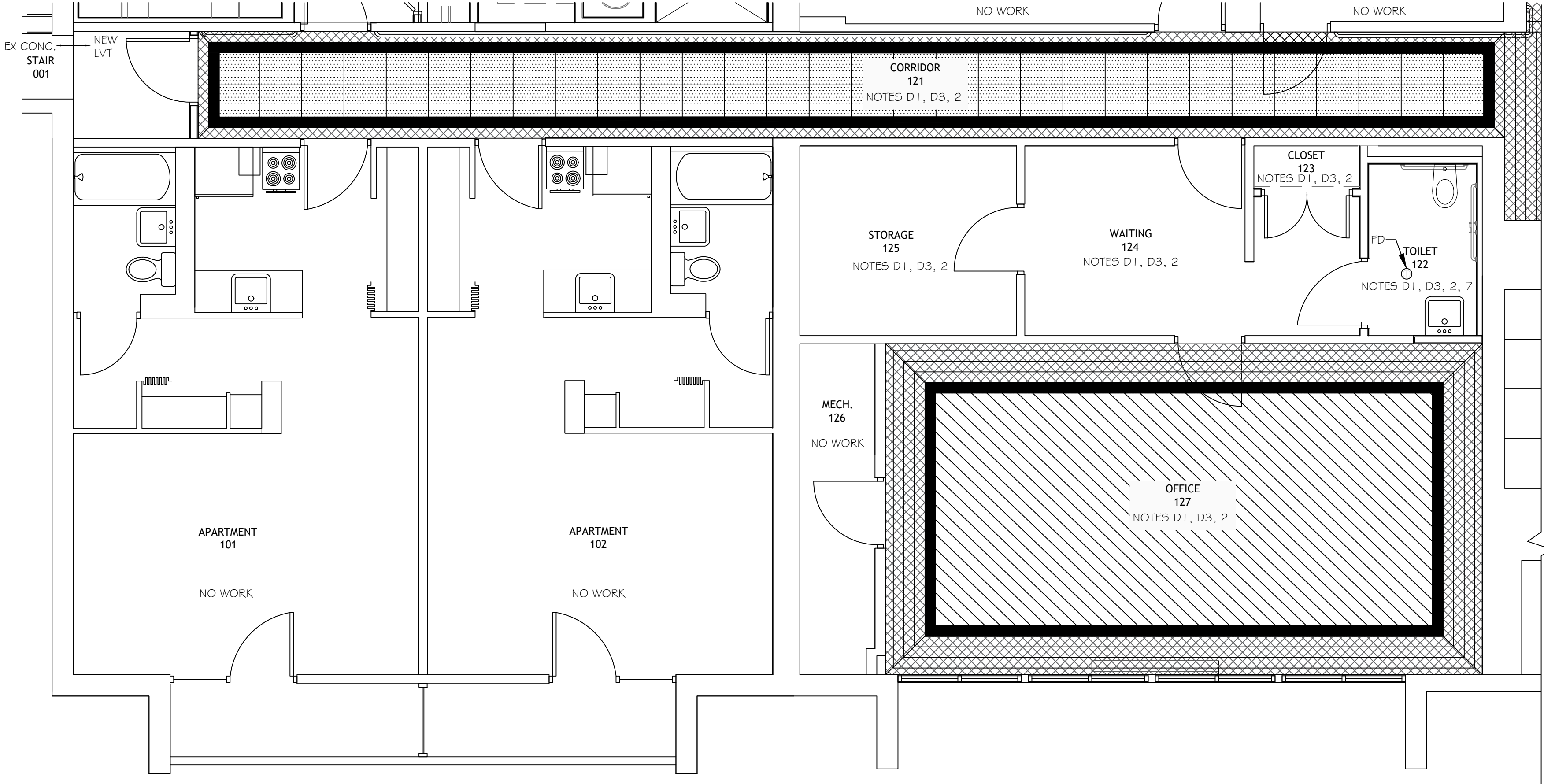
1 FIRST FLOOR COMPOSITE PLAN - PARNASSUS MANOR  
SCALE: 1/16" = 1' - 0"



2 SECOND THROUGH SIXTH FLOOR COMPOSITE PLAN - PARNASSUS MANOR  
SCALE: 1/16" = 1' - 0"



3 SEVENTH FLOOR COMPOSITE PLAN - PARNASSUS MANOR  
SCALE: 1/16" = 1' - 0"



DEMOLITION NOTES:

- D1. REMOVE EXISTING RESILIENT FLOORING AND MASTIC IN THEIR ENTIRETY; PREPARE REMAINING SURFACES FOR NEW FINISHES.
- D2. REMOVE EXISTING CARPET AND MASTIC IN THEIR ENTIRETY; PREPARE REMAINING SURFACES FOR NEW FINISHES.
- D3. REMOVE EXISTING BASE AND MASTIC IN THEIR ENTIRETY; PREPARE REMAINING SURFACES FOR NEW FINISHES.
- D4. REMOVE EXISTING QUARRY TILE AND SETTING COMPOUND IN THEIR ENTIRETY; PREPARE EXISTING TO REMAIN SURFACES FOR NEW FINISHES.
- D5. REMOVE EXISTING CERAMIC TILE AND SETTING COMPOUND IN THEIR ENTIRETY; PREPARE EXISTING TO REMAIN SURFACES FOR NEW FINISHES.

4 ENLARGED FLOOR PATTERN PLAN - FIRST FLOOR  
SCALE: 1/4" = 1' - 0"

ROOM	ROOM NAME	FLOOR	BASE	WALLS	CEILINGS	REMARKS
001	STAIR	LVT-5	RB-2	EX	EX	2
002	ELEVATOR	LVT-5	EX	EX	EX	
003	STAIR	LVT-5	RB-2	EX	EX	2
101	UNIT - NO WORK	EX	EX	EX	EX	
102	UNIT - NO WORK	EX	EX	EX	EX	
103	UNIT - NO WORK	EX	EX	EX	EX	
104	MAINTENANCE	EX	EX	EX	EX	
105	TRASH ROOM	EX	EX	EX	EX	
106	STORAGE ROOM	EX	EX	EX	EX	
107	CORRIDOR	LVT-1	RB-3	EX	EX	
108	LAUNDRY ROOM	LVT-5	RB-2	EX	EX	
109	LOUNGE	LVT-2	RB-3	EX	EX	1
110	MEN'S	LVT-5	RB-1	EX	EX	1
111	CORRIDOR	LVT-1	RB-3	EX	EX	
111A	JANITOR	LVT-5	RB-1	EX	EX	1
112	WOMEN'S	LVT-5	RB-1	EX	EX	1
113	COMMUNITY ROOM	LVT-4	RB-3	EX	EX	
114	STORAGE ROOM	LVT-5	RB-1	EX	EX	1
115	KITCHEN	LVT-5	RB-1	EX	EX	1
116	STORAGE ROOM	TCF-1	RB-2	EX	EX	1
117	MAINTENANCE STORAGE	LVT-5	RB-1	EX	EX	1
118	MANAGER'S OFFICE	TCF-1	RB-2	EX	EX	1
119	VESTIBULE	WO-CPT 1	RB-3	EX	EX	1
120	LOBBY	LVT-4	RB-3	EX	EX	1
121	CORRIDOR	LVT-1	RB-3	EX	EX	
122	TOILET ROOM	LVT-5	RB-1	EX	EX	1
123	CLOSET	LVT-5	RB-1	EX	EX	1
124	WAITING	LVT-5	RB-1	EX	EX	1
125	STORAGE ROOM	LVT-5	RB-1	EX	EX	1
126	MECHANICAL	EX	EX	EX	EX	
127	OFFICE	LVT-2	RB-1	EX	EX	1

5 FINISH SCHEDULE AND NOTES  
SCALE: NTS

ROOM	ROOM NAME	FLOOR	BASE	WALLS	CEILINGS	REMARKS
001	STAIR	LVT-5	RB-2	EX	EX	2
002	ELEVATOR	LVT-5	EX	EX	EX	
003	STAIR	LVT-5	RB-2	EX	EX	2
X00	ELEVATOR LOBBY	LVT-3	RB-1	EX	EX	1
X00A	CORRIDOR	LVT-2	RB-1	EX	EX	1
X00B	CORRIDOR	LVT-2	RB-1	EX	EX	1
X01	APARTMENT	EX	EX	EX	EX	
X02	APARTMENT	EX	EX	EX	EX	
X03	APARTMENT	EX	EX	EX	EX	
X04	APARTMENT	EX	EX	EX	EX	
X05	APARTMENT	EX	EX	EX	EX	
X06	APARTMENT	EX	EX	EX	EX	
X07	APARTMENT	EX	EX	EX	EX	
X08	APARTMENT	EX	EX	EX	EX	
X09	APARTMENT	EX	EX	EX	EX	
X10	APARTMENT	EX	EX	EX	EX	
X11	APARTMENT	EX	EX	EX	EX	
X12	APARTMENT	EX	EX	EX	EX	
X14	APARTMENT	EX	EX	EX	EX	
X15	APARTMENT	EX	EX	EX	EX	
X16	APARTMENT / MECHANICAL	EX	EX	EX	EX	
X17	APARTMENT / MECHANICAL	EX	EX	EX	EX	
X18	TRASH	EX	EX	EX	EX	
X19	STORAGE	EX	EX	EX	EX	

FINISH SCHEDULE NOTES:

- REFER TO ALTERNATES FOR MORE INFORMATION.
- REPLACE FLOORING IN STAIRCASE ENTRANCE ONLY; FLOORING AT LANDINGS AND TREADS SHALL REMAIN.

NEW WORK NOTES:

- PROVIDE SELF LEVELER AT ALL AREAS TO RECEIVE NEW LUXURY VINYL TILE/PLANK. FLOAT FLOOR TO MEET TOLERANCES REQUIRED BY LVT MANUFACTURER. [GENERAL NOTE]
- PROVIDE NEW LVT FLOORING; REFER TO FINISH SCHEDULE, ENLARGED FLOOR PATTERN PLAN AND SPECIFICATIONS FOR MORE INFORMATION.
- PROVIDE NEW WALK-OFF CARPET; REFER TO FINISH SCHEDULE.
- PROVIDE NEW TEXTILE COMPOSITE FLOORING; REFER TO FINISH SCHEDULE.
- PROVIDE NEW RUBBER BASE AT ALL AREAS RECEIVING NEW FLOORING. [GENERAL NOTE]
- PROVIDE TRANSITIONS AT EVERY CHANGE IN MATERIAL AND AT EVERY DOOR OPENING. [GENERAL NOTE]
- AT ALL TOILET ROOMS AND LAUNDRY ROOMS; REMOVE ALL WATER CLOSETS, SINKS, LAVATORIES, ETC. TO ACCOMMODATE INSTALLATION OF NEW RESILIENT FLOORING. RE-INSTALL SALVAGED FIXTURES.

ALTERNATE 1 - PARNASSUS MANOR

PROVIDE AN AMOUNT TO DELETE ALL WORK ON FLOORS 2-7.

ALTERNATE 2 - PARNASSUS MANOR

PROVIDE AN AMOUNT TO DELETE ALL WORK IN STORAGE ROOM 116, MANAGERS OFFICE 118, VESTIBULE 119, TOILET ROOM 122, CLOSET 123, WAITING 124, STORAGE 125 AND OFFICE 127.

ALTERNATE 3 - PARNASSUS MANOR

PROVIDE AN AMOUNT TO DELETE ALL WORK IN LOUNGE 109

ALTERNATE 4 - PARNASSUS MANOR

PROVIDE AN AMOUNT TO DELETE ALL WORK IN MENS 110, JANITOR 111A, WOMENS 112, STORAGE ROOM 114, KITCHEN 115 AND MAINTENANCE STORAGE 117.

ALTERNATE 5 - PARNASSUS MANOR

PROVIDE AN AMOUNT FOR THE EXISTING QUARRY TILE TO REMAIN IN LOBBY 120.

FINISH LEGEND:

- LVT-1: FIELD: OPUS FUMO SP216 (18 x 24); BORDER: OPUS CARBO WP318 (36 x 6); PERIMETER: OPUS NATURAL WALNUT WP326 (36 x 6); AS MANUFACTURED BY KARNDAN DESIGN FLOORING OR APPROVED EQUAL.
- LVT-2: FIELD: OPUS WEATHERED ELM WP511 (36 x 4); BORDER: OPUS CARBO WP318 (36 x 6); PERIMETER: OPUS NATURAL WALNUT WP326 (36 x 6); AS MANUFACTURED BY KARNDAN DESIGN FLOORING OR APPROVED EQUAL. INSTALL FIELD TILE AT 45 DEGREES.
- LVT-3: FIELD: OPUS TERRA SP212 (18 x 24); BORDER: OPUS CARBO WP318 (36 x 6); PERIMETER: OPUS NATURAL WALNUT WP326 (36 x 6); AS MANUFACTURED BY KARNDAN DESIGN FLOORING OR APPROVED EQUAL.
- LVT-4: FIELD "CHECKERBOARD" OPUS TERRA SP212 (18 x 24) AND FUMO SP216 (18 x 24); BORDER: OPUS CARBO WP318 (36 x 6); PERIMETER: OPUS NATURAL WALNUT WP326 (36 x 6); AS MANUFACTURED BY KARNDAN DESIGN FLOORING OR APPROVED EQUAL.
- LVT-5: OPUS FUMO SP216 AS MANUFACTURED BY KARNDAN DESIGN FLOORING OR APPROVED EQUAL.
- WO-CPT-1: INCOGNITO WALK-OFF MODULAR AS MANUFACTURED BY J + J FLOORING GROUP OR APPROVED EQUAL.
- TCF-1: TEXTILE COMPOSITE FLOORING J + J FLOORING GROUP - KINETEX; DIGITAL OR APPROVED EQUAL; INSTALL IN AN ASHLAR PATTERN.
- RB-1: RUBBER BASE: 5" PINNACLE AS MANUFACTURED BY ROPPE OR APPROVED EQUAL.
- RB-2: RUBBER BASE: 6" PINNACLE AS MANUFACTURED BY ROPPE OR APPROVED EQUAL.
- RB-3: CONTOURS PROFILED RUBBER BASE #65 (6") PV6065 WITH QUARTER ROUND #350 C350V AS MANUFACTURED BY ROPPE OR APPROVED EQUAL.

Dwg. Revisions:



SEAL  
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PRINCIPALS: Robert M. Canzian, R.A., Dan Macke, R.A., Heather Weisner



WESTMORELAND COUNTY  
HOUSING AUTHORITY  
MULTI - SITE FLOORING REPLACEMENT PROJECT  
FIRST-, SECOND-THRU-SIXTH-, AND SEVENTH-FLOOR-COMPOSITE-PLANS-AND-FINISH-SCHEDULE

Scale: AS\_NOTED  
Date: 01.25.2025  
Drawn By: JP  
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File No.

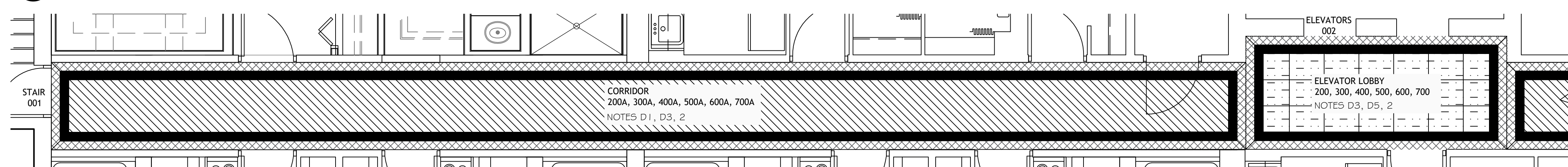
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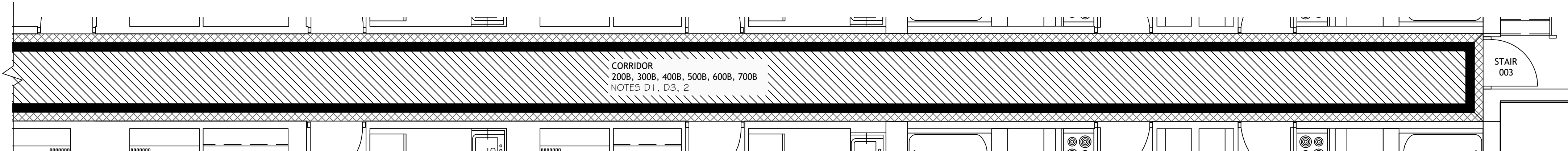


- Legend:
- KARNDÉAN OPUS NATURAL WALNUT WP326
  - KARNDÉAN OPUS CARBO WP318
  - KARNDÉAN OPUS FUMO SP216
  - KARNDÉAN OPUS TERRA SP212
  - KARNDÉAN OPUS WEATHERED ELM WP511

1 ENLARGED FLOOR PATTERN PLAN - FIRST FLOOR  
SCALE: 1/4" = 1' - 0"



2 ENLARGED FLOOR PATTERN PLAN - SECOND THRU SEVENTH FLOOR  
SCALE: 1/4" = 1' - 0"



3 ENLARGED FLOOR PATTERN PLAN - SECOND THRU SEVENTH FLOOR  
SCALE: 1/4" = 1' - 0"

DEMOLITION NOTES:

- REMOVE EXISTING RESILIENT FLOORING AND MASTIC IN THEIR ENTIRETY; PREPARE REMAINING SURFACES FOR NEW FINISHES.
- REMOVE EXISTING CARPET AND MASTIC IN THEIR ENTIRETY; PREPARE REMAINING SURFACES FOR NEW FINISHES.
- REMOVE EXISTING BASE AND MASTIC IN THEIR ENTIRETY; PREPARE REMAINING SURFACES FOR NEW FINISHES.
- REMOVE EXISTING QUARRY TILE AND SETTING COMPOUND IN THEIR ENTIRETY; PREPARE EXISTING TO REMAIN SURFACES FOR NEW FINISHES.
- REMOVE EXISTING CERAMIC TILE AND SETTING COMPOUND IN THEIR ENTIRETY; PREPARE EXISTING TO REMAIN SURFACES FOR NEW FINISHES.

NEW WORK NOTES:

- PROVIDE SELF LEVELER AT ALL AREAS TO RECEIVE NEW LUXURY VINYL TILE/PLANK. FLOAT FLOOR TO MEET TOLERANCES REQUIRED BY LVT MANUFACTURER. [GENERAL NOTE]
- PROVIDE NEW LVT FLOORING; REFER TO FINISH SCHEDULE, ENLARGED FLOOR PATTERN PLAN AND SPECIFICATIONS FOR MORE INFORMATION.
- PROVIDE NEW WALK-OFF CARPET; REFER TO FINISH SCHEDULE.
- PROVIDE NEW TEXTILE COMPOSITE FLOORING; REFER TO FINISH SCHEDULE.
- PROVIDE NEW RUBBER BASE AT ALL AREAS RECEIVING NEW FLOORING. [GENERAL NOTE]
- PROVIDE TRANSITIONS AT EVERY CHANGE IN MATERIAL AND AT EVERY DOOR OPENING. [GENERAL NOTE]
- AT ALL TOILET ROOMS AND LAUNDRY ROOMS; REMOVE ALL WATER CLOSETS, SINKS, LAVATORIES, ETC. TO ACCOMMODATE INSTALLATION OF NEW RESILIENT FLOORING. RE-INSTALL SALVAGED FIXTURES.
- RE-USE EXISTING THRESHOLD AT EXTERIOR DOOR.

Dwg. Revisions:



SEAL

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WESTMORELAND COUNTY  
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MULTI - SITE FLOORING REPLACEMENT PROJECT

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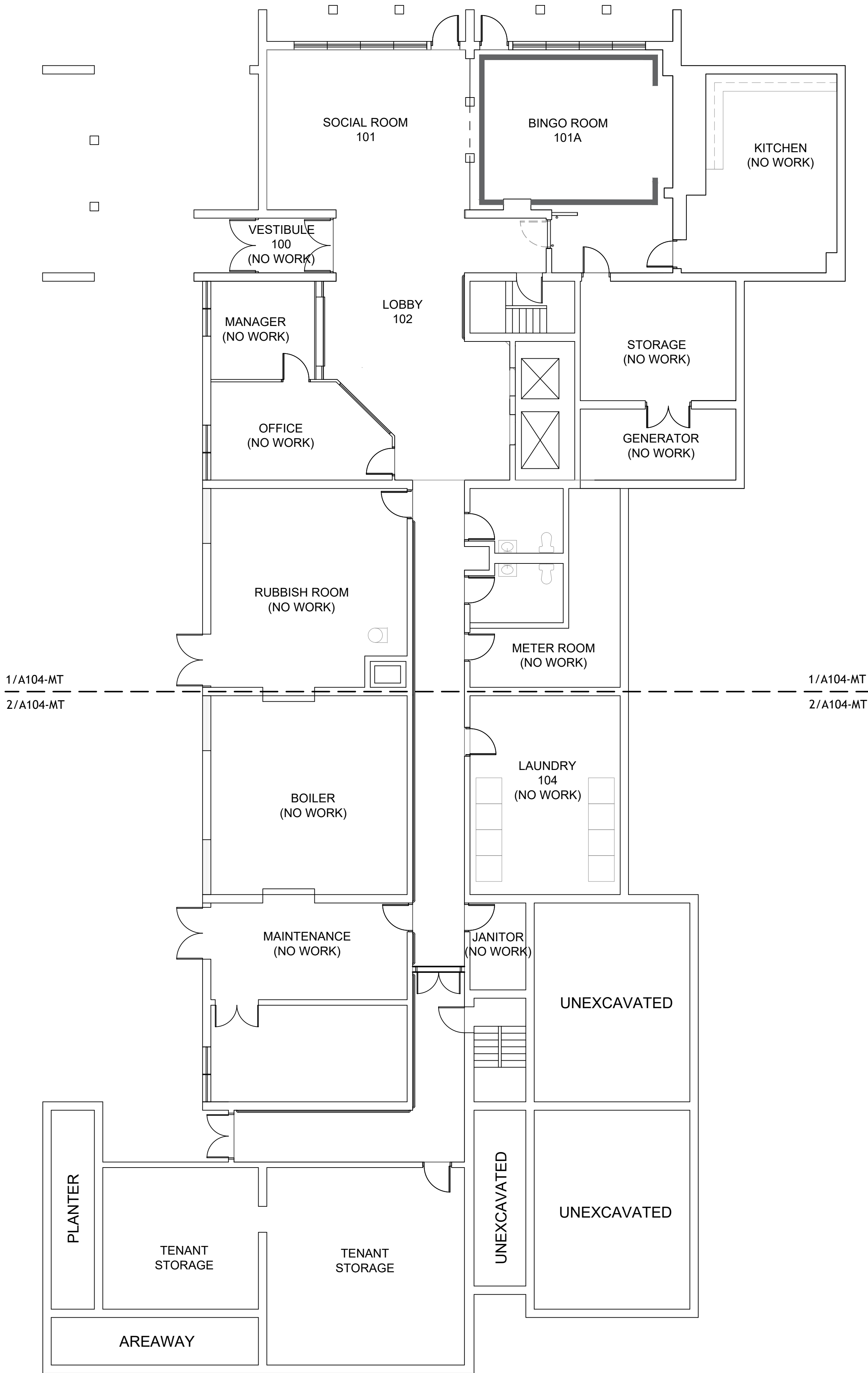
Drawing No.  
A102-PM



ROOM	ROOM NAME	FLOOR	BASE	WALLS	CEILINGS	REMARKS
FIRST FLOOR						
100	VESTIBULE	EX	EX	EX	EX	
101	SOCIAL ROOM	LVT-1	RB-1	EX	EX	
101A	BINGO ROOM	LVT-1	RB-1	EX	EX	
102	LOBBY	LVT-1	RB-1	EX	EX	
103	CORRIDOR	LVT-1	RB-1	EX	EX	
104	LAUNDRY	EX	EX	EX	EX	
	KITCHEN	EX	EX	EX	EX	
	STORAGE	EX	EX	EX	EX	
	GENERATOR	EX	EX	EX	EX	
	MANAGER'S OFFICE	EX	EX	EX	EX	
	OFFICE	EX	EX	EX	EX	
	RUBBISH	EX	EX	EX	EX	
	BOILER ROOM	EX	EX	EX	EX	
	MAINTENANCE	EX	EX	EX	EX	
	BLDG. STORAGE	EX	EX	EX	EX	
	TENANT STORAGE	EX	EX	EX	EX	
	TENANT STORAGE	EX	EX	EX	EX	
	MEN	LVT-2	RB-2	EX	EX	
	WOMEN	LVT-2	RB-2	EX	EX	
	METER ROOM	EX	EX	EX	EX	
	JANITOR	EX	EX	EX	EX	

FINISH LEGEND:

- LVT-1: VAN GOGH CLASSIC OAK VGW86T 48" X 7" FIELD WITH VAN GOGH EBONY VGW89T 48" X 7" ACCENT BANDS AS MANUFACTURED BY KARNDKAN DESIGN FLOORING OR APPROVED EQUAL. INSTALL FIELD COLOR WITHIN THE ACCENT BAND AT 45 DEGREES.
- LVT-2: OPUS FUMO SP216 (18 x 24) AS MANUFACTURED BY KARNDKAN DESIGN FLOORING OR APPROVED EQUAL.
- RB-1: NOVEL 7 3/4" #45 PV7045 CONTOURS PROFILED WALL BASE AS MANUFACTURED BY ROPPE OR APPROVED EQUAL.
- RB-2: 5" PINNACLE AS MANUFACTURED BY ROPPE OR APPROVED EQUAL.



1 FINISH SCHEDULE AND NOTES  
103-MT SCALE: NTS

2 FIRST FLOOR COMPOSITE PLAN - MCMURTRY TOWERS  
103-MT SCALE: 1/8" = 1' - 0"

Dwg. Revisions:



SEAL  
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PRINCIPALS: Anthony M. Canzian, R.A., Don Weck, R.A., Heather Wehrster



**WESTMORELAND COUNTY  
HOUSING AUTHORITY**  
MULTI - SITE FLOORING REPLACEMENT PROJECT  
FIRST-FLOOR-PLAN-AND-FINISH-SCHEDULE

Scale: AS\_NOTED

Date: 01.25.2025

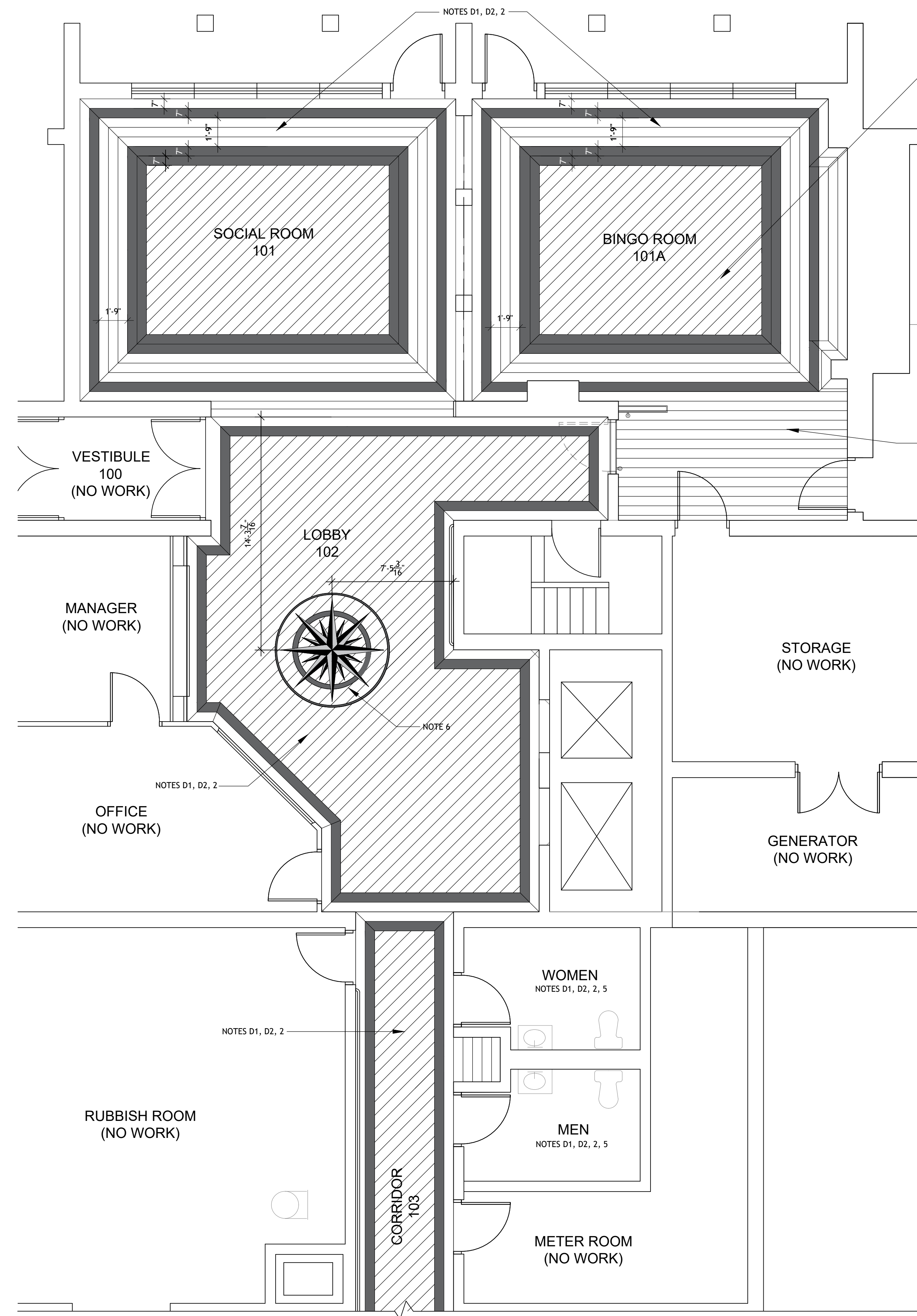
Drawn By: JP

Checked By: HW

Project No. 2454

File No.

Drawing No.  
**A103-MT**



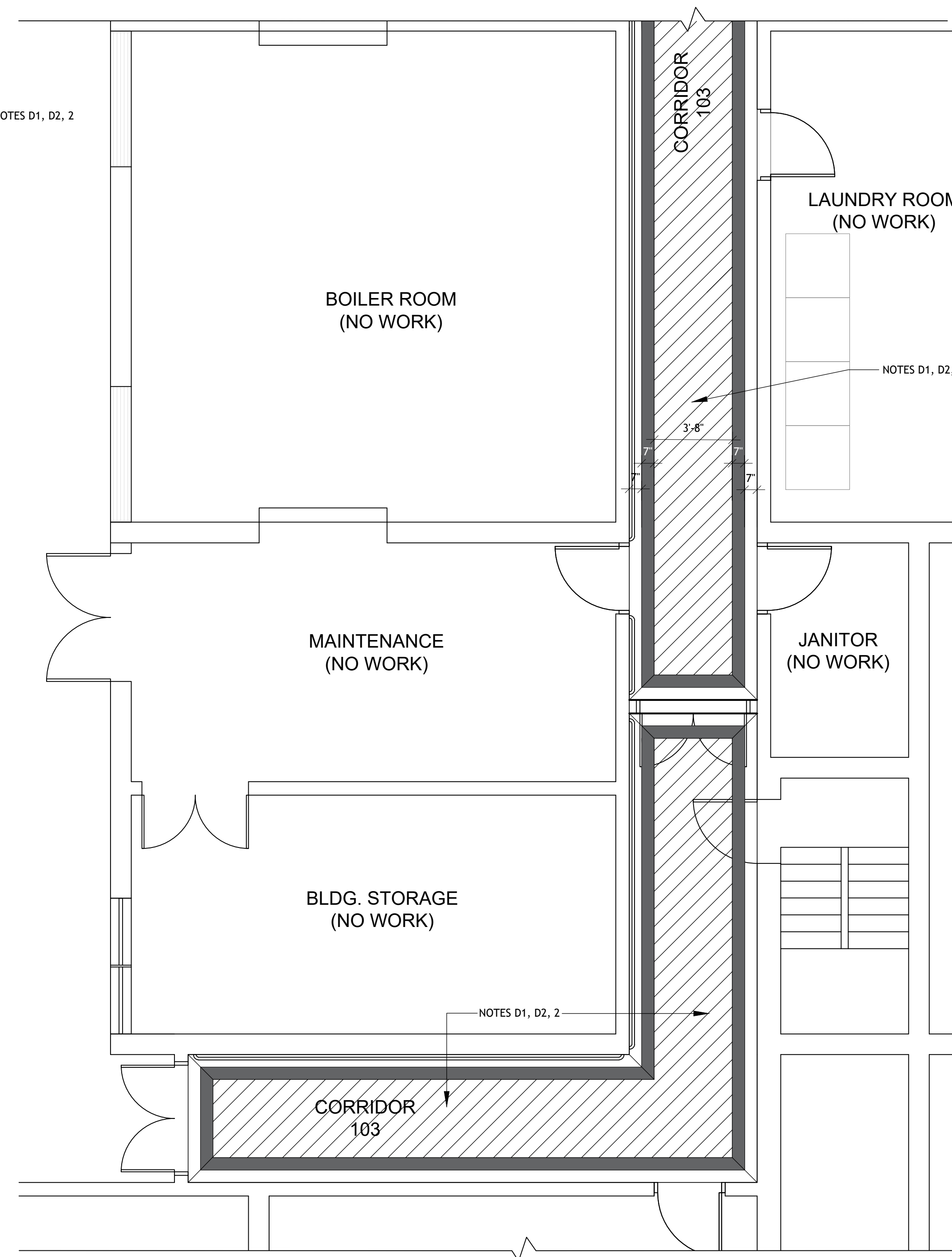
1 ENLARGED FLOOR PATTERN PLAN - FIRST FLOOR  
SCALE: 1/4" = 1' - 0"

FIRST FLOOR DEMOLITION NOTES:

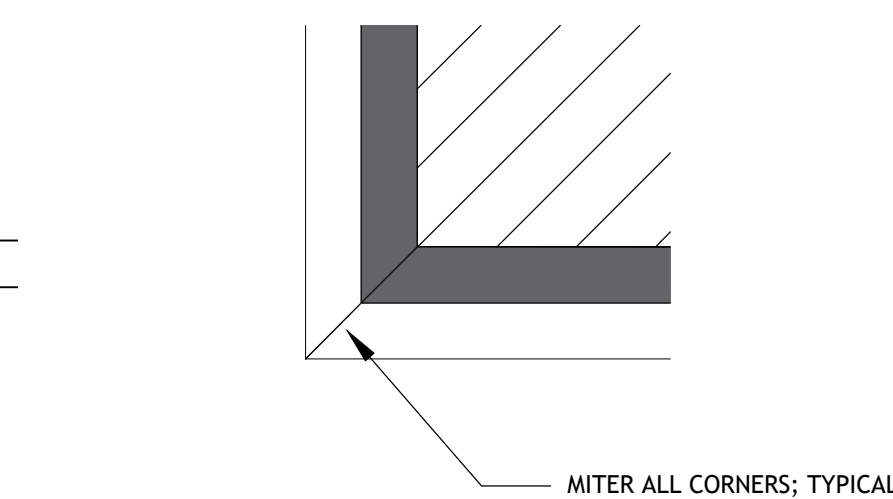
- D1. EXISTING LVT IS INSTALLED ON TOP OF EXISTING RESILIENT FLOORING. THE BASE LAYER OF MASTIC IS ASBESTOS CONTAINING. BOTH LAYERS OF FLOORING AND MASTIC SHALL BE REMOVED ACCORDING TO ALL STATE AND FEDERAL REGULATIONS. PREPARE EXISTING SLAB TO RECEIVE NEW FLOORING.
- D2. REMOVE EXISTING RUBBER BASE AND MASTIC IN ITS ENTIRETY; PREPARE REMAINING SURFACES FOR NEW RUBBER BASE.

FIRST FLOOR NEW WORK NOTES:

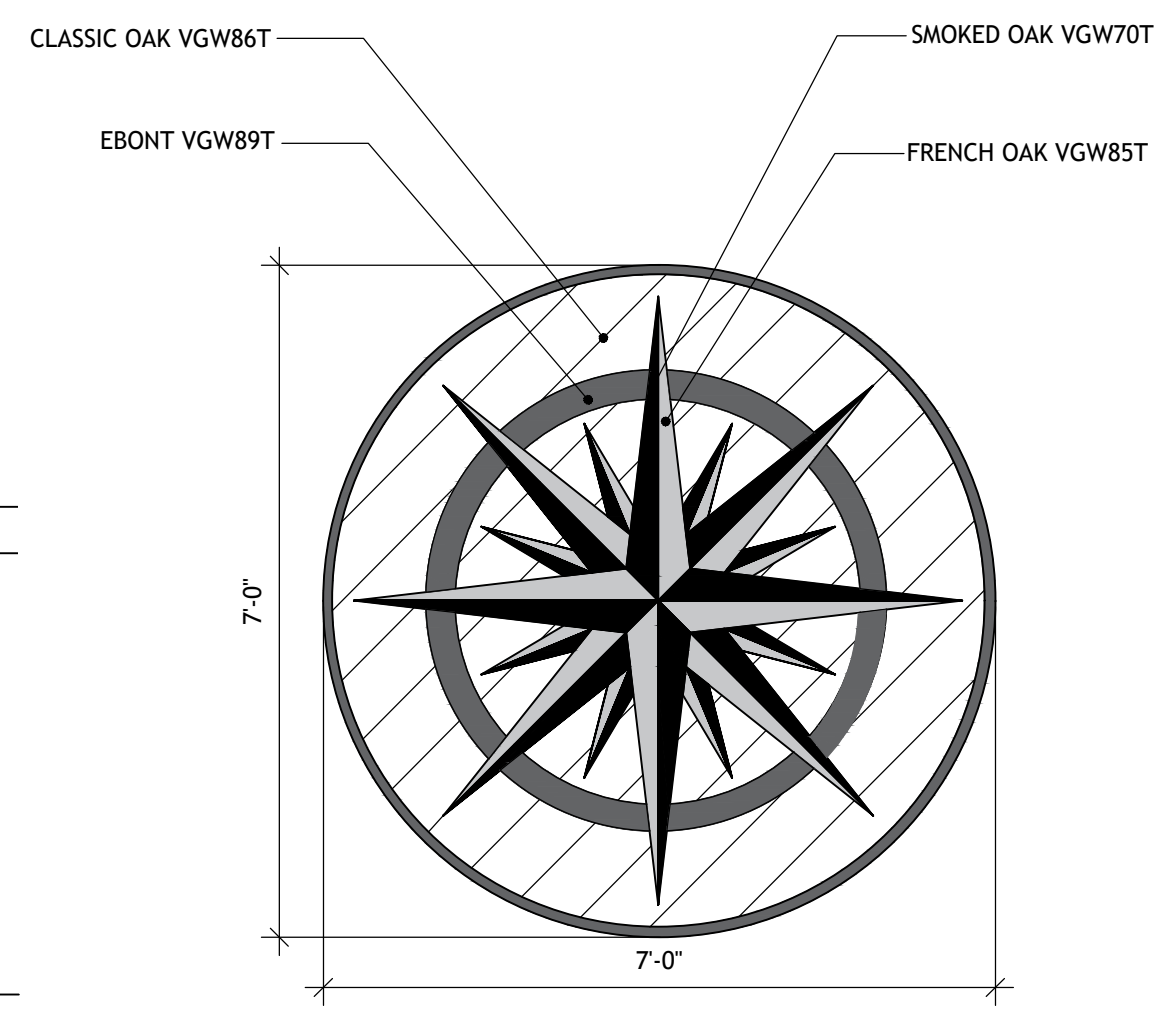
1. PROVIDE SELF LEVELER AT ALL AREAS TO RECEIVE NEW LUXURY VINYL TILE / PLANK. FLOAT FLOOR TO MEET TOLERANCES REQUIRED BY LVT MANUFACTURER. [GENERAL NOTE]
2. PROVIDE NEW LVT FLOORING; REFER TO FINISH SCHEDULE, ENLARGED FLOOR PATTERN PLAN AND SPECIFICATIONS FOR MORE INFORMATION.
3. PROVIDE NEW RUBBER BASE AT ALL AREAS RECEIVING NEW FLOORING. [GENERAL NOTE]
4. PROVIDE TRANSITIONS AT EVERY CHANGE IN MATERIAL AND AT EVERY DOOR OPENING. [GENERAL NOTE]
5. AT ALL TOILET ROOMS WITHIN THE SCOPE OF THE PROJECT: REMOVE ALL WATER CLOSETS, SINKS, LAVATORIES, ETC. TO ACCOMMODATE INSTALLATION OF NEW RESILIENT FLOORING. RE-INSTALL SALVAGED FIXTURES.
6. PROVIDE DESIGN FEATURE AS SHOWN.



2 ENLARGED FLOOR PATTERN PLAN - FIRST FLOOR  
SCALE: 1/4" = 1' - 0"



3 TYPICAL FLOORING DETAIL  
SCALE: 1/2" = 1' - 0"



4 ENLARGED STAR DESIGN FEATURE  
SCALE: 1/2" = 1' - 0"

Dwg. Revisions:



SEAL

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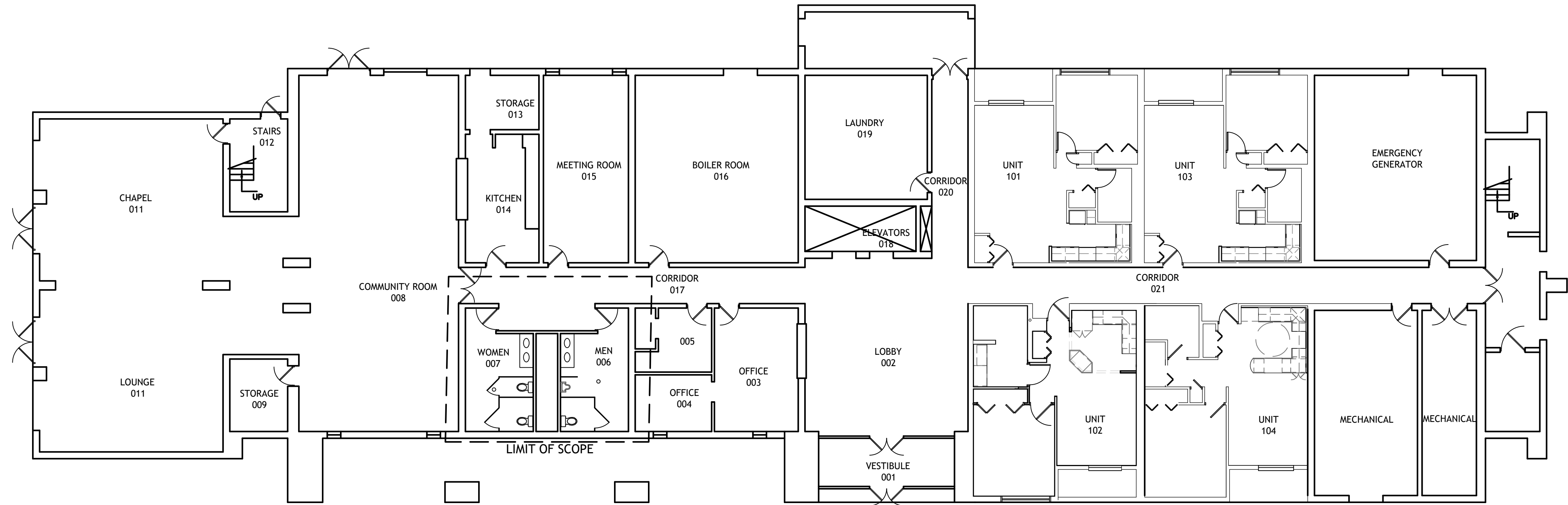


WESTMORELAND COUNTY  
HOUSING AUTHORITY  
MULTI - SITE FLOORING REPLACEMENT PROJECT  
ENLARGED-FLOOR-PATTERN-PLANS

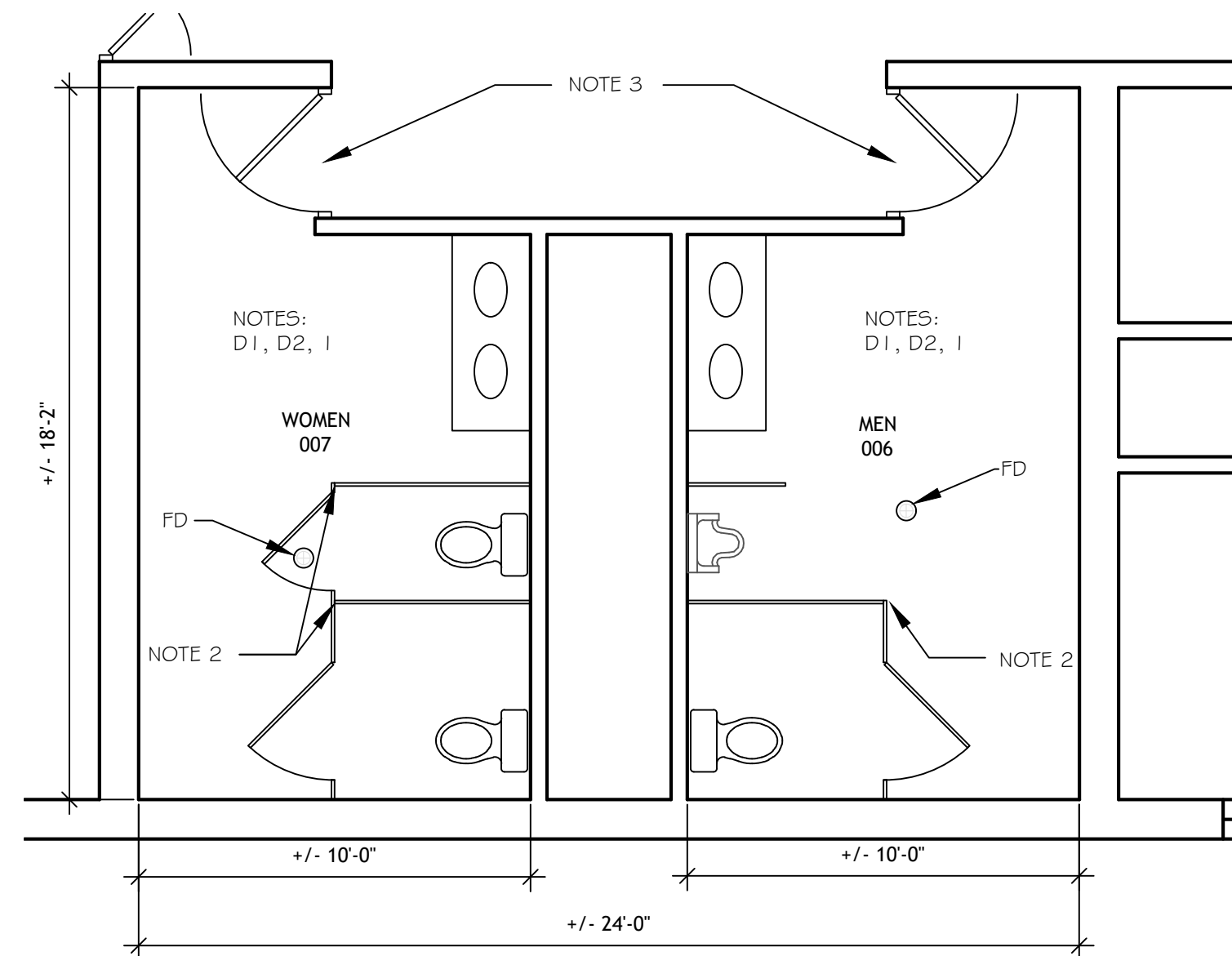
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Project No. 2454  
File No.

Drawing No.  
A104-MT





1 FIRST FLOOR COMPOSITE PLAN - ARNOLD TOWERS  
SCALE: 3/32" = 1' - 0"



2 ENLARGED FLOOR PATTERN PLAN - FIRST FLOOR  
SCALE: 1/4" = 1' - 0"

FINISH LEGEND:

CT - CERAMIC TILE; BASALTINE SAND AS MANUFACTURED BY MILESTONE; CERAMIC TILE SHALL BE 2X2" MOSAICS OR APPROVED EQUAL.

GENERAL NOTES:

- A. REMOVE AND RE-SET EXISTING PLUMBING FIXTURES AS NECESSARY TO COMPLETE THE NEW FLOORING INSTALLATION.

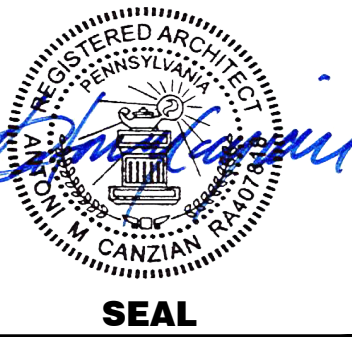
DEMOLITION NOTES:

- D1. REMOVE EXISTING FRITZ TILE FLOORING AND MASTIC/SETTING COMPOUND IN THEIR ENTIRETY. PREPARE EXISTING TO REMAIN SURFACE FOR NEW CERAMIC TILE FLOORING.
- D2. REMOVE EXISTING FLOOR MOUNTED TOILET PARTITIONS; SALVAGE FOR RE-INSTALLATION AFTER NEW FLOORING.

NEW WORK NOTES:

1. PROVIDE NEW CERAMIC MOSAIC FLOORING; EXISTING SWANSTONE WALL PANELS AND BASE TO REMAIN.
2. RE-INSTALL SALVAGED TOILET PARTITIONS.
3. PROVIDE ACCESSIBLE TRANSITION, AT DOOR TO TRANSITION FROM NEW CERAMIC TILE TO EXITING FRITZ TILE TO REMAIN IN CORRIDOR TRANSITION SHALL BE RENO-U (ANODIZED ALUMINUM) AS MANUFACTURED BY SCHLUTER SYSTEMS OR APPROVED EQUAL.

Dwg. Revisions:



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**WESTMORELAND COUNTY  
HOUSING AUTHORITY**  
MULTI - SITE FLOORING REPLACEMENT PROJECT

FIRST-FLOOR-COMPOSITE-PLAN-AND-ENLARGED-FLOOR-PATTERN-PLAN

Scale: AS NOTED

Date: 01.25.2025

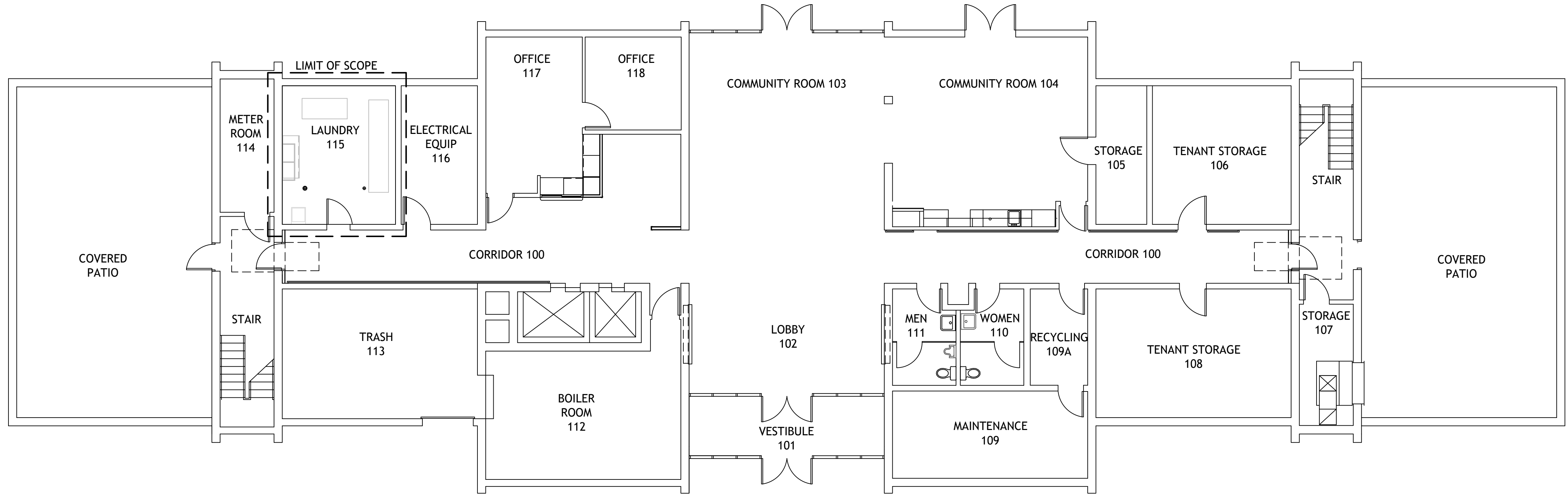
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Checked By: HW

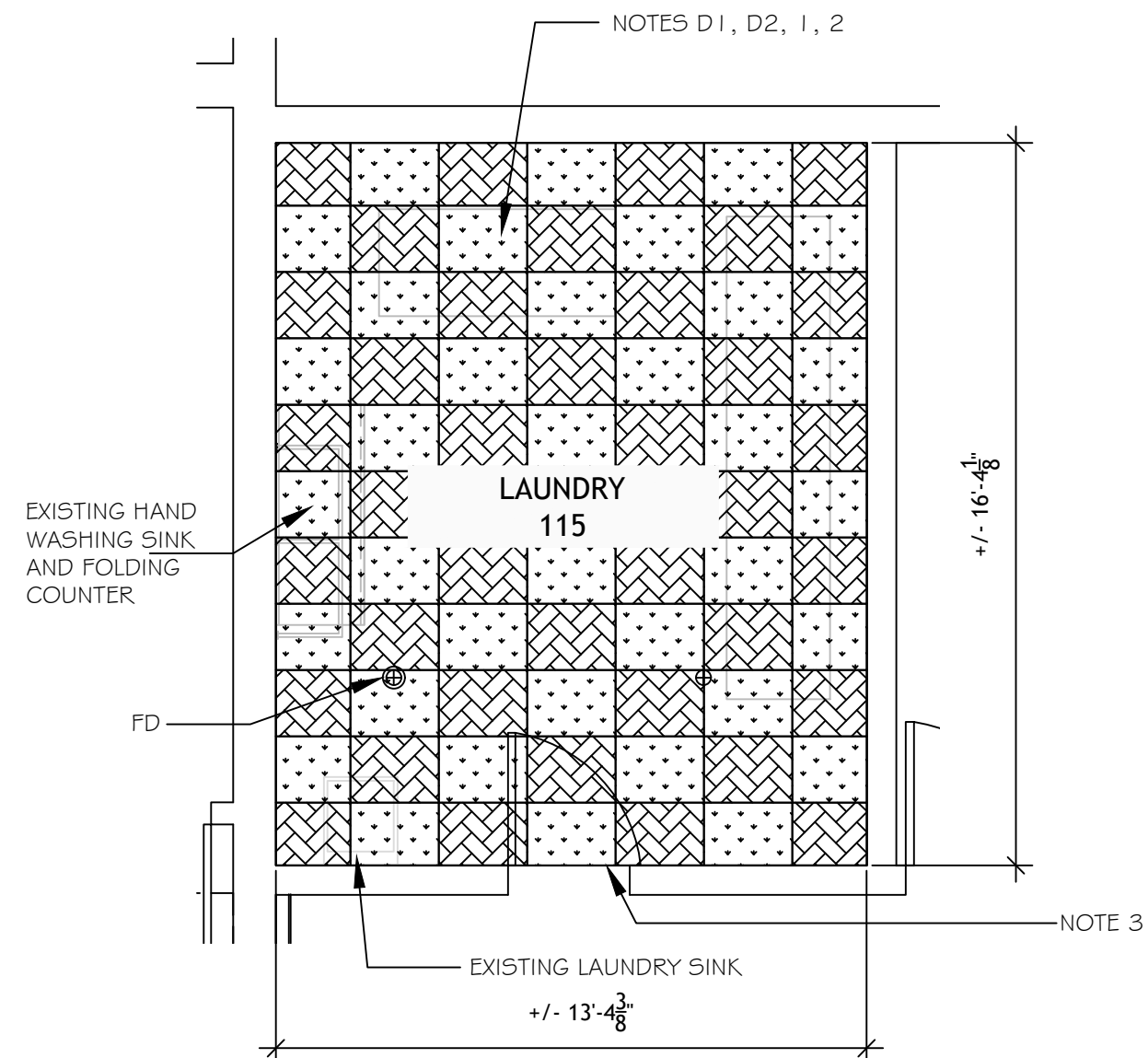
Project No. 2454

File No.

Drawing No.  
**A105-AT**



1 FIRST FLOOR COMPOSITE PLAN - ARNOLD MANOR  
SCALE: 1/8" = 1' - 0"



2 ENLARGED FLOOR PATTERN PLAN  
SCALE: 1/4" = 1' - 0"

FINISH LEGEND:

LVT - LUXURY VINYL TILE; OPUS TERRA SP212 (18 x 24) AND FUMO SP216 (18 x 24) AS MANUFACTURED BY KARNDIAN DESIGN FLOORING OR APPROVED EQUAL; INSTALL IN A CHECKERBOARD PATTERN.

RB - RUBBER BASE; 6" PINNACLE RUBBER BASE AS MANUFACTURED BY ROPPE OR APPROVED EQUAL.

FIRST FLOOR DEMOLITION NOTES:

- D1. REMOVE EXISTING RUBBER BASE AND MASTIC IN THEIR ENTIRETY; PREPARE EXISTING TO REMAIN SURFACES FOR NEW CONSTRUCTION.
- D2. ABRASE FLOOR TO REMOVE EXISTING COATING/ PAINT; PREPARE EXISTING TO REMAIN CONCRETE SLAB FOR NEW FLOORING.

FIRST FLOOR NEW WORK NOTES:

1. FLOAT COAT FLOOR TO MEET FLOORING MANUFACTURER'S INSTALLATION STANDARDS.
2. PROVIDE NEW LVT FLOORING AND 6" RUBBER BASE.
3. PROVIDE FLOORING TRANSITION AT DOOR. TRANSITION SHALL BE VINPRO-U AS MANUFACTURED BY SCHLUTER SYSTEMS OR APPROVED EQUAL. (ANODIZED ALUMINUM)

GENERAL NOTES:

- A. THE AUTHORITY WILL REMOVE ALL WASHERS AND DRYERS PRIOR TO THE INSTALLATION OF NEW FLOORING.
- B. THE AUTHORITY WILL TEMPORARILY REMOVE THE LAUNDRY SINK, HAND WASHING SINK AND FOLDING COUNTER PRIOR TO THE INSTALLATION OF NEW FLOORING.

Dwg. Revisions:



SEAL

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& ASSOCIATES LLC

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WESTMORELAND COUNTY  
HOUSING AUTHORITY  
MULTI - SITE FLOORING REPLACEMENT PROJECT

FIRST-FLOOR-COMPOSITE-PLAN-AND-ENLARGED-FLOOR-PATTERN-PLAN

Scale: AS\_NOTED

Date: 01.25.2025

Drawn By: JP

Checked By: HW

Project No. 2454

File No.

Drawing No.  
**A106-AM**