

PA 18-06 VALLEY MANOR
INTERIOR MODERNIZATION

PREPARED FOR

WESTMORELAND COUNTY HOUSING AUTHORITY
167 SOUTH GREENGATE ROAD
GREENSBURG, PENNSYLVANIA 15601

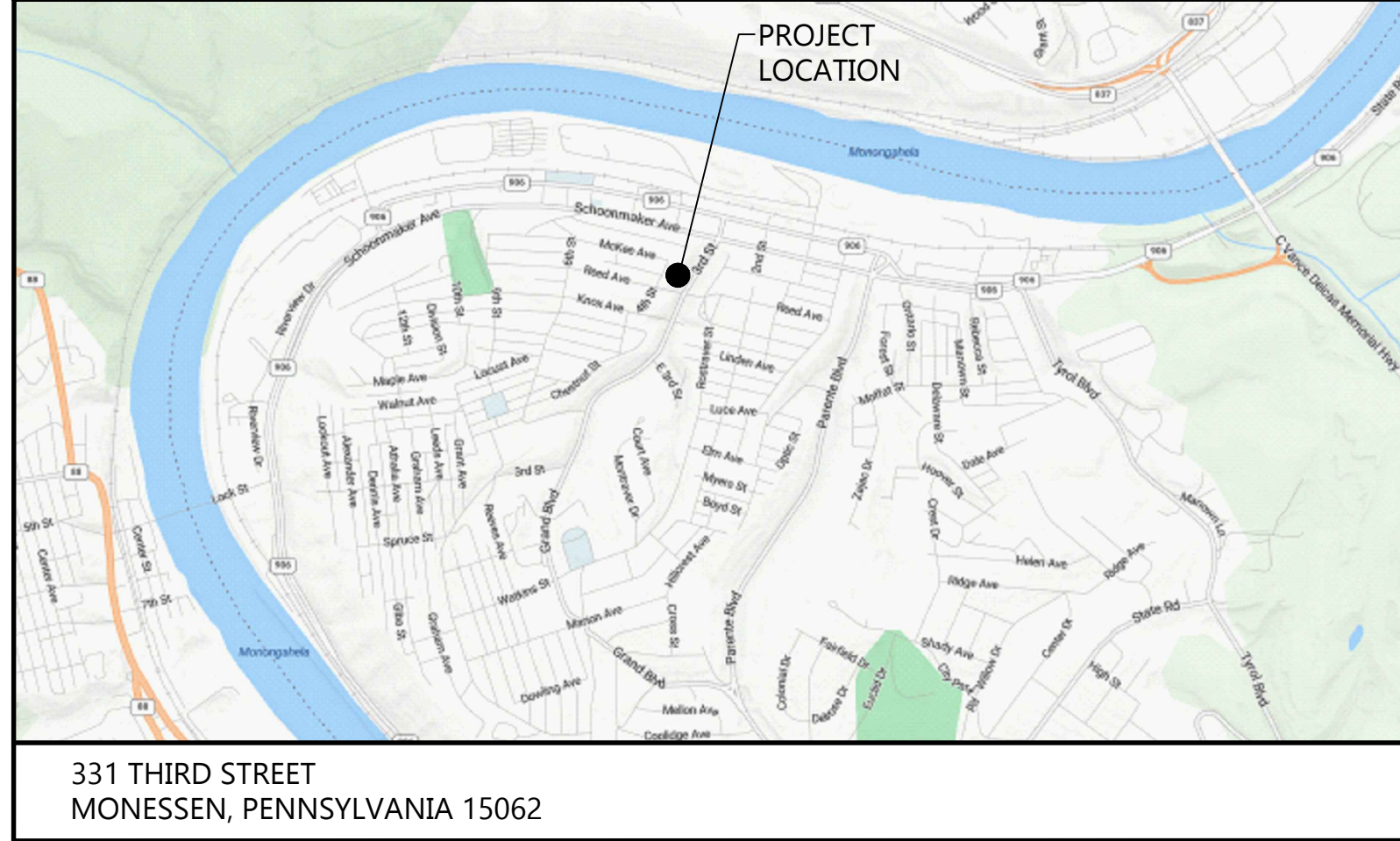
JUNE 2025
R25-077-01



ISSUED FOR BIDDING



SITE LOCATION



DRAWING LIST

G0.01	COVER SHEET
Architectural	
A1.01	FIRST FLOOR PLAN
A1.02	TYPICAL FLOOR PLAN
A1.03	SIXTH FLOOR PLAN



SLEIGHTER
DESIGN

UNIVERSITY BUSINESS PARK
1060 EBERLY WAY
LEMONT FURNACE, PA 15456
724.438.4010
WWW.SLEIGHTERDESIGN.COM

GENERAL DEMOLITION NOTES

1. ALL DEMOLITION DEBRIS, WASTE MATERIAL AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED.
2. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ROLL-OFF BOX(ES) AND/OR DUMPMSTER(S).
3. THE GENERAL CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF SITE DISPOSAL FACILITY, ALL ROLL-OFF BOX(ES) AND/OR DUMPMSTER(S) WHEN FULL. THIS MAY INCLUDE BUT NOT BE LIMITED TO BUILDING DEMOLITION DEBRIS.
4. PRIOR TO THE START OF DEMOLITION, THE OWNER, WESTMORELAND COUNTY HOUSING AUTHORITY (WCHA) SHALL BE GIVEN THE OPPORTUNITY TO COLLECT AND RETAIN AT THEIR FACILITY ANY ITEMS TO BE REMOVED ON THIS PROJECT. THIS MAY INCLUDE BUT NOT BE LIMITED TO WALL DECOR, CLOCKS, BULLETIN BOARDS, PLUMBING FIXTURES, LIGHT FIXTURES, ETC. CONTRACTOR(S) SHALL COORDINATE DEMOLITION WORK WITH, AND NOTIFY THE OWNER OF THE DEMOLITION SCHEDULE.
5. EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. INCLUDING, BUT NOT LIMITED TO, ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING & PATCHING.
6. GENERAL CONTRACTOR TO FURNISH PROTECTION FROM ELEMENTS AND DEMOLITION DEBRIS FOR AREAS AND EXISTING ITEMS WHICH MAY BE EXPOSED BY UNCOVERING WORK.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRING PORTIONS OF EXISTING SURFACES WHICH ARE DAMAGED DURING THEIR DEMOLITION WORK.
8. GENERAL CONTRACTOR TO PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE. PROVIDE TEMPORARY, SAFE FLOORING IN AREAS OF WORK.
9. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION.
10. GENERAL CONTRACTOR TO REMOVE ALL EXISTING WALL & DOOR MOUNTED SIGNAGE. LIMIT DISTURBANCE AND DAMAGE TO EXISTING WALLS AND DOORS. GENERAL CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING CONDITIONS. PREPARE DOORS AND WALLS FOR NEW WORK. PROVIDE NEW SIGNAGE AS PART OF NEW WORK.
11. GENERAL CONTRACTOR TO REMOVE OR PROTECT ALL EXISTING WALL AND CEILING MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO HANDRAIL HARDWARE, BUILDING PLAQUE, LIGHT FIXTURES & FIXTURE HOUSING, FIRE EXTINGUISHERS/COVERS, HVAC UNITS, DUCTWORK, VENTS, LOUVERS, GRILLES, SUPPLY LINES, OUTLET/LIGHT COVERS, GRAB BARS, TOILET ACCESSORIES, COUNTER TOPS, CORNER GUARDS, FIRE PAUL, SECURITY PAD, ACCESS PANEL, TRASH CHUTE, MAILBOX, FIRE ALARM STROBE LIGHTS, WINDOW BLINDS ALONG WITH HARDWARE, EMERGENCY ALARM LIGHTS, BLANK OFF GLASS, SMOKE/FIRE ALARMS/SENSORS AND CASEWORK. IN AREAS OF WORK.
12. GENERAL CONTRACTOR TO REMOVE OR PROTECT ALL EXISTING DOOR HARDWARE ITEMS INCLUDING BUT NOT LIMITED TO DOOR OPERING LEVER PLATE, VIEWER, KNOCKER AND LOCK CYLINDER. CLEAN, REPAIR AND PRESERVE EXISTING DOOR AND FRAME FOR PRIME & PAINT AS PER MANUFACTURER RECOMMENDATIONS AS PART OF NEW WORK.

◆ NUMBERED DEMOLITION NOTES

- ① GENERAL CONTRACTOR TO REMOVE FLOORING, INCLUDING BASE, REMOVE ALL GLUES AND RESIDUE. PREP SUBSTRATE FOR NEW FLOORING IN ACCORDANCE WITH FLOORING MANUFACTURER'S REQUIREMENTS. AT FIRST FLOOR RESTROOM, WCHA TO REMOVE EXISTING PLUMBING FIXTURES TO PREPARE FOR WORK IN THIS AREA.
- ② GENERAL CONTRACTOR TO REMOVE EXISTING METAL HANDRAIL ALONG WITH END RETURNS. LIMIT DISTURBANCE AND DAMAGE TO EXISTING WALLS, HANDRAIL MOUNTING BRACKETS AND WOOD HANDRAIL MOUNTING BOARD. GC TO REPAIR ANY DAMAGE TO EXISTING CONDITIONS OR REPLACE ANY DAMAGED BRACKETS/FASTENERS DURING HANDRAIL REMOVAL. CLEAN WOOD HANDRAIL MOUNTING BOARD AND PREPARE FOR PRIMER AND PAINT. PREPARE FOR INSTALLATION OF POWDER COATED HANDRAIL AND END RETURNS AS PART OF NEW WORK WHERE INDICATED ON PLANS.
- ③ GENERAL CONTRACTOR TO REMOVE EXISTING CEILING TIE FROM EXISTING CEILING GRID THAT IS TO REMAIN. ENSURE THAT CARE IS TAKEN DURING REMOVAL TO ENSURE THAT NO DAMAGE TO THE GRID, SENSORS AND CEILING-MOUNTED CAMERAS OCCUR. ATTACH ACCESSORIES TO CEILING TIE AT EXISTING LOCATIONS AS PART OF NEW WORK.
- ④ GENERAL CONTRACTOR TO CLEAN, PATCH HOLES AND REPAIR DAMAGE TO EXISTING WALLS AND GYM CEILINGS. PREPARE WALLS AND CEILINGS FOR PRIMER AND PAINT AS PART OF NEW WORK.
- ⑤ GENERAL CONTRACTOR TO REMOVE EXISTING BLINDS ALONG WITH RELATED HARDWARE AND FASTENERS. PATCH AND REPAIR WALL TO MATCH EXISTING ADJACENT CONDITIONS AS PART OF NEW WORK.
- ⑥ ELEVATOR UPGRADES: GENERAL CONTRACTOR TO REMOVE EXISTING ELEVATOR FLOORING. REMOVE ALL GLUES AND RESIDUE. PREP SUBSTRATE FOR NEW FLOORING IN ACCORDANCE WITH FLOORING MANUFACTURER'S REQUIREMENTS. GENERAL CONTRACTOR TO REMOVE EXISTING ELEVATOR WALL PANELS ALONG WITH ALL WALL MOUNTED ACCESSORIES WITH CARE. SET ACCESSORIES ASIDE FOR INSTALLATION ON WALL PANELS AS PART OF NEW WORK. GENERAL CONTRACTOR TO HANG AND PREPARE NEWER ALUMINUM HANDRAILS ALONG WITH CEILING ALONG WITH ACCESS HAND AND DIFFUSER. INSTALLATION OF WALL PANELS, INSTALLATION OF FLOOR AND PAINTING CEILING ARE ALL PART OF NEW WORK.
- ⑦ GENERAL CONTRACTOR TO REMOVE EXISTING CORNER QUAIDS ALONG WITH RETAINER, CAPS AND ALL FASTENERS. PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT CONDITIONS - PREPARE EXISTING WALL FOR PRIMER AND PAINT AS PART OF NEW WORK. PREPARE FOR INSTALLATION OF CORNER QUAIDS AS PART OF NEW WORK.
- ⑧ GENERAL CONTRACTOR TO CLEAN FLOOR OF ALL DIRT, GREASE AND RESIDUE. PREP EXISTING FLOOR FOR FLOOR LEVELING MATERIAL AND NEW FLOORING IN ACCORDANCE WITH FLOORING MANUFACTURER'S REQUIREMENTS AS PART OF NEW WORK.
- ⑨ GENERAL CONTRACTOR TO REMOVE EXISTING DISPLAY CASES AND TACK BOARDS ALONG WITH RELATED HARDWARE AND FASTENERS. PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT CONDITIONS AS PART OF NEW WORK.

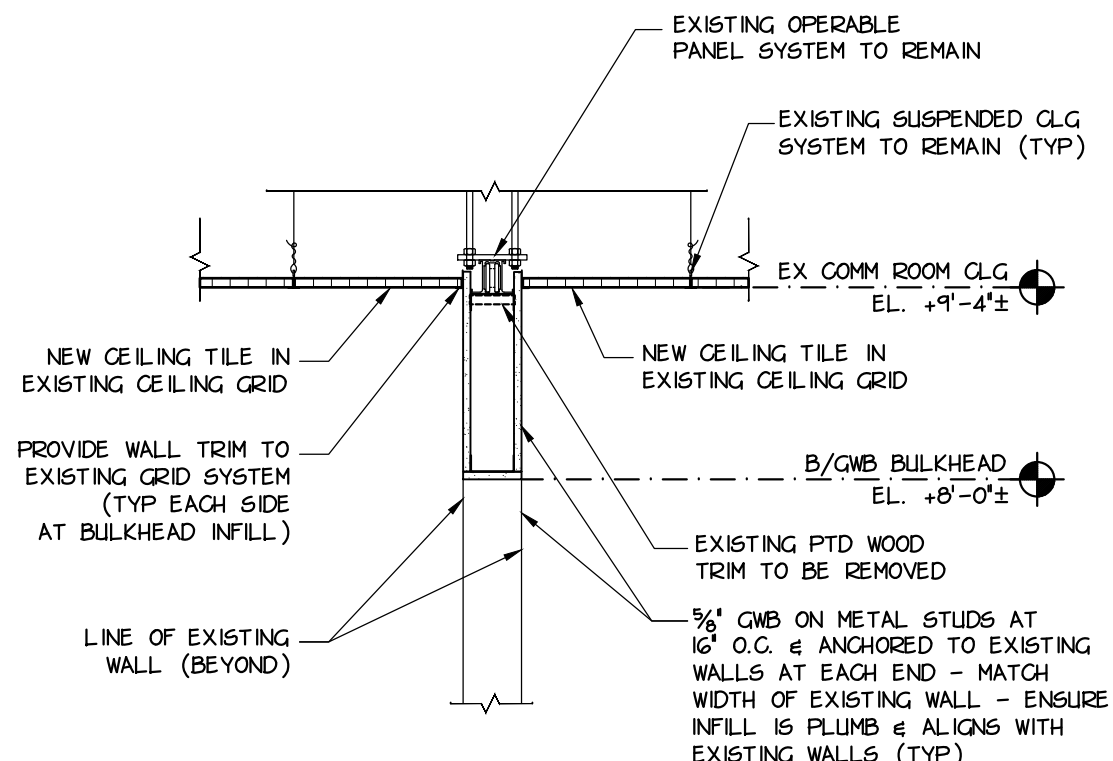
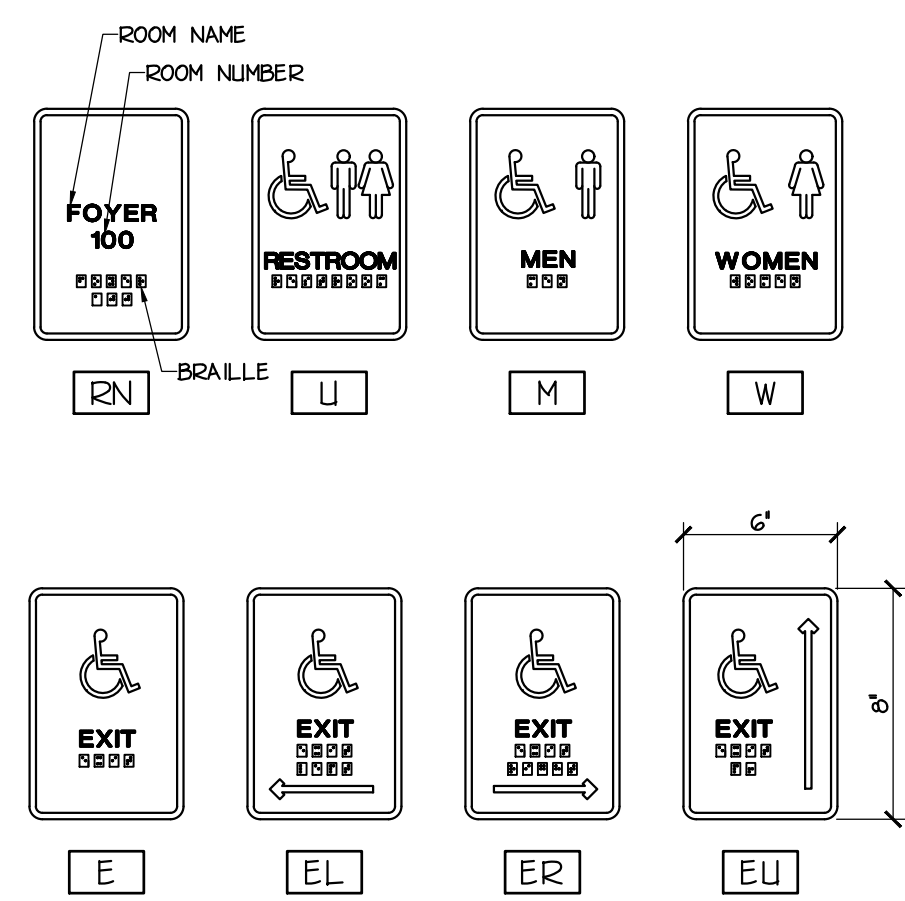
ROOM NAME KITCHEN FLOOR LEVEL 409 UNIT NUMBER	
①	NUMBERED DEMOLITION NOTE
②	NUMBERED GENERAL CONSTRUCTION NOTE
O.H.	OPPOSITE HAND
VIEW NUMBER SHEET NUMBER	
	FLOORING COLOR 1 - STAGGERED JOINT PARALLEL TO WALL
	FLOORING COLOR 1 - STAGGERED JOINT DIAGONAL TO WALL
	FLOORING COLOR 2 - STAGGERED JOINT PARALLEL TO WALL
	FLOORING COLOR 2 - STAGGERED JOINT DIAGONAL TO WALL
	EXISTING CEILING GRID TO REMAIN
	PORCELAIN FLOOR TILE WITH PORCELAIN BASE

GENERAL CONSTRUCTION NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, DIMENSIONS, LOCATIONS OF PLUMBING LINES AND FIXTURES, ELECTRIC LINES AND FIXTURES AND HVAC EQUIPMENT. CONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS TO DETERMINE THE FULL SCOPE OF WORK REQUIRED.
2. DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTIONS OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK. CONTRACTORS ARE TO REFER TO THE SPECIFICATIONS FOR THE WRITTEN REQUIREMENTS FOR MATERIALS, EQUIPMENT, CONSTRUCTION SYSTEMS, STANDARDS FOR WORKMANSHIP OF THE WORK, AND PERFORMANCE OF RELATED SERVICES.
3. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTORS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
4. DO NOT SCALE DRAWINGS.
5. ALL INTERIOR DIMENSIONS INDICATED ARE TO THE FINISHED FACE OF WALL.
6. AT AREAS OF DEMOLITION INCLUDING, BUT NOT LIMITED TO REMOVAL OF SIGNS, WALL MOUNTED FIXTURES, WALL MOUNTED ACCESSORIES, ETC., PROVIDE SEAMLESS PATCH, REPAIR AND SEAL OF EXISTING CONDITIONS. MATCH EXISTING ADJACENT MATERIALS.
7. IN ALL CASES, PROVIDE MEANS TO FURNISH AND INSTALL.
8. GENERAL CONTRACTOR TO PROVIDE TRANSITION STRIP AS REQUIRED FOR TRANSITION BETWEEN FLOORING TYPES TO ALIGN WITH EXISTING DOOR JAMB OR AT FLOORING CHANGE. ENSURE A TIGHT AND SEAMLESS JOINT.
9. GENERAL CONTRACTOR TO PROVIDE "WGA SPECIFIC" SIGNAGE REPLACEMENT IN KIND. GENERAL CONTRACTOR TO PROVIDE PROJECT SIGNAGE REPLACEMENT THROUGHOUT BUILDING IN ACCORDANCE TO SIGNAGE INFORMATION ON SHEET A101. SUBMIT ALL SIGNAGE PRIOR TO INSTALLATION TO OWNER FOR REVIEW AND APPROVAL.

○ NUMBERED CONSTRUCTION NOTES

- (C1) GENERAL CONTRACTOR TO PATCH & REPAIR EXISTING DAMAGED OR CRACKED C&B AT WALLS AND CEILINGS THROUGH OUT AREAS OF WORK. PROVIDE GWS INFILL AT DAMAGED AREAS. PROVIDE ADDITIONAL BLOCKING BETWEEN EXISTING STUDS FOR FASTENING. MATCH EXISTING ADJACENT MATERIALS TO ENSURE SEAMLESS TRANSITION. PRIME AND PAINT WALLS (EGGSHELL FINISH) AND CEILING (FLAT FINISH) INCLUDING INSULATED PIPING, CONDUIT AND WIRE MOULD AT ALL FLOORS.
- (C2) GENERAL CONTRACTOR TO PREPARE AND PAINT EXISTING METAL HANDRAILS & EXISTING WALL MOUNTED WOOD HANDRAIL BOARD INDICATED ON PLANS. GO TO CLEAN AND PREPARE 1/2" POWER COAT EXISTING METAL HANDRAILS. GO TO CLEAN, PREPARE FOR PRIMER AND PAINT EXISTING WALL MOUNTED WOOD HANDRAIL BOARD. INSTALL HANDRAIL WITH EXISTING BRACKETS AT EXISTING LOCATIONS. REPLACE ANY DAMAGED HANDRAIL BRACKETS ALONG WITH MISSING OR BROKEN FASTENERS.
- (C3) AT ALL FLOORS, GENERAL CONTRACTOR TO PRIME AND PAINT EXISTING CORRIDOR DOORS ON CORRIDOR SIDE ALONG WITH HOLLOW METAL FRAME TO INSIDE OF RABBIT, UNLESS OTHERWISE INDICATED ON PLAN. PROVIDE NEW DOOR HARDWARE AT ALL INTERIOR EXISTING DOORS.
- (C4) GENERAL CONTRACTOR TO PRIME AND PAINT EXISTING EXTERIOR HOLLOW METAL DOORS ALONG WITH HOLLOW METAL DOOR FRAMES IN ITS ENTIRETY. EXISTING DOOR HARDWARE TO REMAIN.
- (C5) GENERAL CONTRACTOR TO PRIME AND PAINT BOTH SIDES OF EXISTING HOLLOW METAL DOOR & FRAME AT KITCHEN, MANAGER'S OFFICE, OFFICE, RESTROOM & LAUNDRY ROOM. REPAIR DAMAGE TO DOOR AND FRAME AT LAUNDRY ROOM. PROVIDE NEW DOOR HARDWARE AT EACH EXISTING DOOR.
- (C6) EXISTING METAL ROLL-UP DOOR AT SERVING COUNTER TO REMAIN. PRIME AND PAINT WOOD TRIM ON COMMUNITY ROOM SIDE. EXISTING DOOR HARDWARE AT SERVING WINDOW TO REMAIN.
- (C7) GENERAL CONTRACTOR TO PRIME AND PAINT EXISTING ELEVATOR DOORS AND FRAMES ON BOTH SIDES. PROVIDE 4'-0" HIGH STAINLESS STEEL HANDWRAPS AT EACH FLOOR ELEVATOR DOOR FRAMES AT BOTH ELEVATOR DOORS. SEE ELEVATION 4/A101.
- (C8) GENERAL CONTRACTOR TO PROVIDE LVT AT ELEVATOR FLOORS. ENSURE SEAMLESS TRANSITION AT ELEVATOR THRESHOLD TO MAINTAIN ACCESSIBILITY. PRIME AND PAINT EXISTING ELEVATOR CAB WALLS PRIOR TO INSTALLATION OF WALL PANELS. GENERAL CONTRACTOR TO PROVIDE NEW WALL PANELS TO MATCH EXISTING WALL PANELS IN SIZE AND THICKNESS. PROVIDE ALL RELATED HARDWARE AND FASTENERS TO ENSURE PROPER INSTALLATION. INSTALL ALL EXISTING ACCESSORIES THAT WERE REMOVED AND SET ASIDE. PRIME AND PAINT EXISTING CEILING ALONG WITH CEILING APRON, DIFFUSER AND ACCESS PANEL.
- (C9) GENERAL CONTRACTOR TO INSTALL LVT FLOORING AND RUBBER BASE AT AREAS INDICATED ON FLOOR PLAN. RUBBER BASE TO BE 6" BASE. PROVIDE FLOOR LEVELING MATERIAL TO ENSURE THAT ALL IMPERFECTIONS ARE SMOOTH, LEVEL AND PREPARED FOR INSTALLATION OF FLOORING AS PER MANUFACTURER'S RECOMMENDATIONS. ALLOW FOR 2 FLOOR COLOR SELECTIONS ALONG WITH PATTERN PER LEGEND BY OWNER.
- (C10) GENERAL CONTRACTOR TO INSTALL PORCELAIN FLOOR TILE AND TILE BASE AS INDICATED ON FLOOR PLAN. PROVIDE FLOOR LEVELING MATERIAL TO ENSURE THAT ALL IMPERFECTIONS ARE SMOOTH, LEVEL AND PREPARED FOR INSTALLATION OF FLOORING AS PER MANUFACTURER'S RECOMMENDATIONS. ALLOW OWNER TWO TILE COLOR SELECTIONS FOR FLOOR TILE.
- (C11) GENERAL CONTRACTOR TO PROVIDE GELING TILE TO FIT INTO EXISTING CEILING GRID. ENSURE PROPER ALIGNMENT FOR SEAMLESS INSTALLATION. CEILING TILE IN COMMUNITY ROOM, LOBBY AND RESTROOM. EXISTING LIGHTING FIXTURES, DIFFUSERS, EXHAUST FANS, CEILING MOUNTED SENSORS, CEILING MOUNTED CAMERAS, ETC. ARE TO REMAIN AT EXISTING LOCATIONS - ENSURE THAT ALL ACCESSORIES ARE IN WORKING ORDER.
- (C12) GENERAL CONTRACTOR TO PROVIDE PARTITION BULKHEAD INFILL BETWEEN THE COMMUNITY ROOM AND LOBBY. LOCATE GWS PARTITION BULKHEAD AS INDICATED ON PLANS. SECURELY ANCHOR PARTITION BULKHEAD TO THE EXISTING WALL PARTITIONS. REFER TO SECTION 5/A101.
- (C13) GENERAL CONTRACTOR TO PROVIDE METAL DISPLAY CASES IN LOCATIONS OF EXISTING, UNIFORMS, LOBBY AND CORRIDOR ON FIRST FLOOR. CORNER GUARDS TO BE 48" LENGTH AT ALL CORNERS, UNLESS EXISTING CONDITIONS INTERFERE. CORNER GUARDS AT CIAA ARE TO BE 18" LONG, MOUNTED BOTH ABOVE AND BELOW HANDRAIL. CORNER GUARD AT C1A8 IS TO BE 24" LONG MOUNTED ABOVE UNIT VENTILATOR/HEATER.
- (C14) GENERAL CONTRACTOR TO PROVIDE CORNER GUARDS AT ALL WALL CORNERS WITHIN LOBBY, LOBBY AND CORRIDOR ON FIRST FLOOR. CORNER GUARDS TO BE 48" LENGTH AT ALL CORNERS, UNLESS EXISTING CONDITIONS INTERFERE. CORNER GUARDS AT CIAA ARE TO BE 18" LONG, MOUNTED BOTH ABOVE AND BELOW HANDRAIL. CORNER GUARD AT C1A8 IS TO BE 24" LONG MOUNTED ABOVE UNIT VENTILATOR/HEATER.
- (C15) GENERAL CONTRACTOR TO PROVIDE WINDOW SHADES. ENSURE THAT SHADE SPANS THE WIDTH & HEIGHT OF THE EXISTING WINDOW OPENING. PROVIDE ALL HARDWARE AND FASTENERS PER MANUFACTURER'S RECOMMENDATIONS.

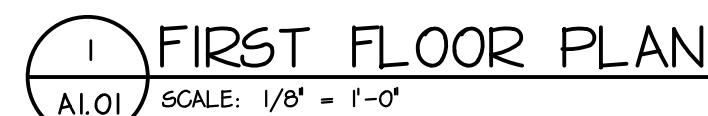


5 BULKHEAD INFILL DETAIL
A1.01 SCALE: 3/4" = 1'-0"

2 SIGNAGE MOUNTING GUIDELINES

3 SIGNAGE ELEVATIONS
A1.01 SCALE: 1" = 1'-0"

4 ELEVATOR DOOR ELEVATION
A1.01 SCALE: 1/4" = 1'-0"



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12. GENERAL CONTRACTOR TO REMOVE OR PROTECT ALL EXISTING DOOR HARDWARE ITEMS INCLUDING BUT NOT LIMITED TO DOOR OPENER, KICK PLATE, VIEWER, KNOCKER AND LOCK GUARD. CLEAN, REPAIR AND PREPARE EXISTING DOOR AND FRAME FOR PRIME & PAINT AS PER MANUFACTURER RECOMMENDATIONS AS PART OF NEW WORK.

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ROOM NAME		KITCHEN
FLOOR LEVEL		#01
UNIT NUMBER		
①	NUMBERED DEMOLITION NOTE	
②	NUMBERED GENERAL CONSTRUCTION NOTE	
O.H.	OPPOSITE HAND	
	FLOORING COLOR 1 - STAGGERED JOINT PARALLEL TO WALL	
	FLOORING COLOR 1 - STAGGERED JOINT DIAGONAL TO WALL	
	FLOORING COLOR 2 - STAGGERED JOINT PARALLEL TO WALL	
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	EXISTING CEILING GRID TO REMAIN	
	PORCELAIN FLOOR TILE WITH PORCELAIN BASE	

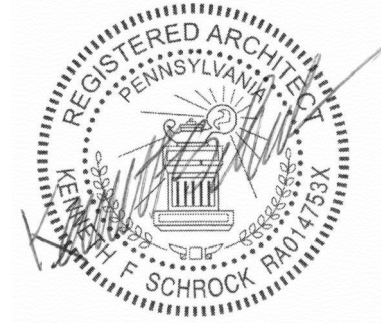
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- (02) GENERAL CONTRACTOR TO PREPARE AND PAINT EXISTING METAL HANDRAILS & EXISTING WALL MOUNTED WOOD HANDRAIL BOARD INDICATED ON PLANS. GC TO CLEAN AND PREPARE TO POWDER COAT EXISTING METAL HANDRAILS. GC TO CLEAN, PREPARE FOR PRIMER AND PAINT EXISTING WALL MOUNTED WOOD HANDRAIL BOARD. INSTALL HANDRAIL WITH EXISTING BRACKETS AT EXISTING LOCATIONS. REPLACE ANY DAMAGED HANDRAIL BRACKETS ALONG WITH MISSING OR BROKEN FASTENERS.
- (03) AT ALL FLOORS, GENERAL CONTRACTOR TO PRIME AND PAINT EXISTING CORRIDOR DOORS ON CORRIDOR SIDE ALONG WITH HOLLOW METAL FRAME TO INSIDE OF DOORSET, UNLESS OTHERWISE INDICATED ON PLAN. PROVIDE NEW DOOR HARDWARE AT ALL INTERIOR EXISTING DOORS.
- (04) GENERAL CONTRACTOR TO PRIME AND PAINT EXISTING EXTERIOR HOLLOW METAL DOORS ALONG WITH HOLLOW METAL DOOR FRAMES IN ITS ENTIRETY. EXISTING DOOR HARDWARE TO REMAIN.
- (05) GENERAL CONTRACTOR TO PRIME AND PAINT BOTH SIDES OF EXISTING HOLLOW METAL DOOR & FRAME AT KITCHEN, MANAGER'S OFFICE, OFFICE, RESTROOM, LAUNDRY ROOM. REPAIR DAMAGE TO DOOR AND FRAME AT LAUNDRY ROOM. PROVIDE NEW DOOR HARDWARE AT EACH EXISTING DOOR.
- (06) EXISTING METAL ROLL-UP DOOR AT SERVING COUNTER TO REMAIN. PRIME AND PAINT WOOD TRIM ON COMMUNITY ROOM SIDE. EXISTING DOOR HARDWARE AT SERVING WINDOW TO REMAIN.
- (07) GENERAL CONTRACTOR TO PRIME AND PAINT EXISTING ELEVATOR DOORS AND FRAMES ON BOTH SIDES. PROVIDE 4'-0" HIGH STAINLESS STEEL JAMB WRAPS AT EACH FLOOR ELEVATOR DOOR FRAMES AT BOTH ELEVATOR DOORS. SEE ELEVATION 4/A101.
- (08) GENERAL CONTRACTOR TO PROVIDE LVT AT ELEVATOR FLOORS. ENSURE SEAMLESS TRANSITION AT ELEVATOR THRESHOLD TO MAINTAIN ACCESSIBILITY. PRIME AND PAINT EXISTING ELEVATOR CAB WALLS PRIOR TO INSTALLATION OF WALL PANELS. GENERAL CONTRACTOR TO PROVIDE NEW WALL PANELS TO MATCH EXISTING WALL PANELS IN SIZE AND THICKNESS. PROVIDE ALL RELATED HARDWARE AND FASTENERS TO ENSURE PROPER INSTALLATION. INSTALL ALL EXISTING ACCESSORIES THAT WERE REMOVED AND GET ASIDE. PRIME AND PAINT EXISTING CEILING ALONG WITH CEILING APRON, DIFFUSER AND ACCESS PANEL.
- (09) GENERAL CONTRACTOR TO INSTALL LVL FLOORING AND RUBBER BASE AT AREAS INDICATED ON FLOOR PLAN. RUBBER BASE TO BE 6' BASE. PROVIDE FLOOR LEVELING MATERIAL TO ENSURE THAT ALL IMPERFECTIONS ARE SMOOTH, LEVEL AND PREPARED FOR INSTALLATION OF FLOORING AS PER MANUFACTURER'S RECOMMENDATIONS. ALLOW FOR 2 FLOOR COLOR SELECTIONS ALONG WITH PATTERN PER LEGEND BY OWNER.
- (10) GENERAL CONTRACTOR TO INSTALL PORCELAIN FLOOR TILE AND TILE BASE AS INDICATED ON FLOOR PLAN. PROVIDE FLOOR LEVELING MATERIAL TO ENSURE THAT ALL IMPERFECTIONS ARE SMOOTH, LEVEL AND PREPARED FOR INSTALLATION OF FLOORING AS PER MANUFACTURER'S RECOMMENDATIONS. ALLOW OWNER TWO TILE COLOR SELECTIONS FOR FLOOR TILE.
- (11) GENERAL CONTRACTOR TO PROVIDE CEILING TILE TO FIT INTO EXISTING CEILING GRID. ENSURE PROPER ALIGNMENT FOR SEAMLESS INSTALLATION. CEILING TILE IN COMMUNITY ROOM AND LOBBY - EXISTING LIGHTING FIXTURES, DIFFUSERS, FAN, FAN SPEED CONTROLS, CEILING MOUNTED SENSORS, CEILING MOUNTED CAMERAS, ETC ARE TO REMAIN AT EXISTING LOCATIONS - ENSURE THAT ALL ACCESSORIES ARE IN WORKING ORDER.
- (12) GENERAL CONTRACTOR TO PROVIDE PARTITION BULKHEAD INFILL BETWEEN THE COMMUNITY ROOM AND LOBBY. LOCATE GWB PARTITION BULKHEAD AS INDICATED ON PLANS. SECURELY ANCHOR PARTITION BULKHEAD TO THE EXISTING WALL PARTITIONS. REFER TO SECTION 5/A101.
- (13) GENERAL CONTRACTOR TO PROVIDE METAL DISPLAY CASES IN LOCATIONS OF EXISTING, UNLESS OTHERWISE INDICATED BY OWNER. GC TO PROVIDE DISPLAY BOARDS IN LOCATIONS INDICATED WITH CISA.
- (14) GENERAL CONTRACTOR TO PROVIDE CORNER GUARDS AT ALL WALL CORNERS WITHIN COMMUNITY ROOM, LOBBY AND CORRIDOR ON FIRST FLOOR. CORNER GUARDS TO BE 48" LENGTH AT ALL CORNERS, UNLESS EXISTING CONDITIONS INTERFERE. CORNER GUARDS AT CIAA ARE TO BE 18" LONG, MOUNTED BOTH ABOVE AND BELOW HANDRAIL. CORNER GUARD AT CIAB IS TO BE 24" LONG MOUNTED ABOVE UNIT VENTILATOR/HEATER.
- (15) GENERAL CONTRACTOR TO PROVIDE WINDOW SHADES. ENSURE THAT SHADE SPANS THE WIDTH & HEIGHT OF THE EXISTING WINDOW OPENING. PROVIDE ALL HARDWARE AND FASTENERS PER MANUFACTURER'S RECOMMENDATIONS.



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PROJECT

OWNER

PROJECT NUMBER

R25-077-01

ISSUED FOR

BIDDING

ISSUE DATE

JUNE 2025

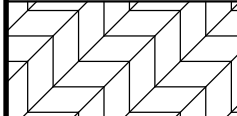
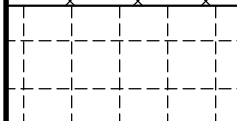
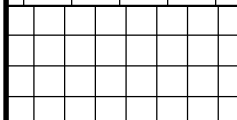
SHEET NAME

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A1.02

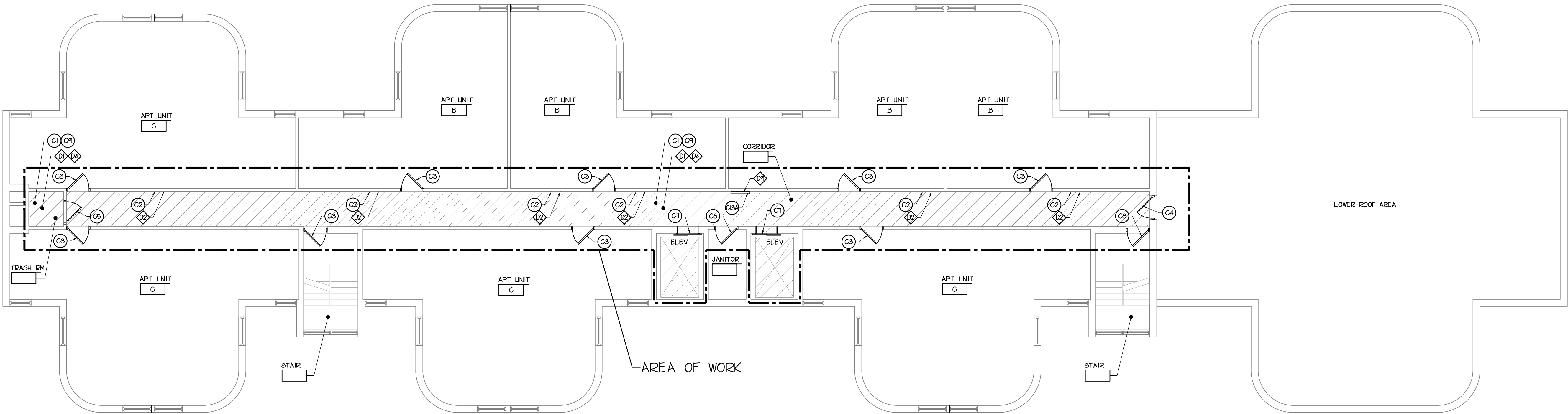
- GENERAL DEMOLITION NOTES**
- ALL DEMOLITION DEBRIS, WASTE MATERIAL AND TRASH IS TO BE CONTAINERIZED ON SITE AS GENERATED.
 - THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ROLL-OFF BOX(ES) AND/OR DUMPSTER(S).
 - THE GENERAL CONTRACTOR SHALL IMMEDIATELY REMOVE FROM THE SITE, TRANSPORT AND DISPOSE AT AN APPROVED OFF SITE DISPOSAL FACILITY, ALL ROLL-OFF BOX(ES) AND/OR DUMPSTER(S) WHEN FULL. THIS MAY INCLUDE BUT NOT BE LIMITED TO BUILDING DEMOLITION DEBRIS.
 - PRIOR TO THE START OF DEMOLITION, THE OWNER, WESTMORELAND COUNTY HOUSING AUTHORITY (WCHA) SHALL BE GIVEN THE OPPORTUNITY TO COLLECT AND RETAIN AT THEIR FACILITY ANY ITEMS TO BE REMOVED ON THIS PROJECT. THIS MAY INCLUDE BUT NOT BE LIMITED TO WALL DECOR, CLOCKS, BULLETIN BOARDS, PLUMBING FIXTURES, LIGHT FIXTURES, ETC. CONTRACTOR(S) SHALL COORDINATE DEMOLITION WORK WITH, AND NOTIFY THE OWNER OF THE DEMOLITION SCHEDULE.
 - EXAMINE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK, INCLUDING, BUT NOT LIMITED TO, ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING & PATCHING.
 - GENERAL CONTRACTOR TO FURNISH PROTECTION FROM ELEMENTS AND DEMOLITION DEBRIS FOR AREAS AND EXISTING ITEMS WHICH MAY BE EXPOSED BY UNCOVERING WORK.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRING PORTIONS OF EXISTING SURFACES WHICH ARE DAMAGED DURING THEIR DEMOLITION WORK.
 - GENERAL CONTRACTOR TO PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE. PROVIDE TEMPORARY, SAFE FLOORING IN AREAS OF WORK.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION.
 - GENERAL CONTRACTOR TO REMOVE ALL EXISTING WALL & DOOR MOUNTED SIGNAGE. LIMIT DISTURBANCE AND DAMAGE TO EXISTING WALLS AND DOORS. GENERAL CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING CONDITIONS. PREPARE DOORS AND WALLS FOR NEW WORK. PROVIDE NEW SIGNAGE AS PART OF NEW WORK.
 - GENERAL CONTRACTOR TO REMOVE OR PROTECT ALL EXISTING WALL AND CEILING MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO HANDRAIL HARDWARE, BUILDING PLAQUE, LIGHT FIXTURES & FIXTURE HOUSING, FIRE EXTINGUISHERS/CABINETS, HVAC UNITS, DUCTWORK, VENTS, LOUVERS, GRILLES, SUPPLY LINES, OUTLET/LIGHT COVERS, GRAB BARS, TOILET ACCESSORIES, COUNTER TOPS, CORNER GUARDS, FIRE PULL, SECURITY PAD, ACCESS PANEL, TRASH CHUTE, MAILBOX, FIRE ALARM STROBE LIGHTS, WINDOW BLINDS ALONG WITH HARDWARE, EMERGENCY ALARM LIGHTS, BLANK OFF COVERS, SMOKE/FIRE ALARMS/SENSORS AND CASEWORK IN AREAS OF WORK.
 - GENERAL CONTRACTOR TO REMOVE OR PROTECT ALL EXISTING DOOR HARDWARE ITEMS INCLUDING BUT NOT LIMITED TO DOOR OPERATOR, KICK PLATE, VIEWER, KNOCKER AND LOCK GUARD. CLEAN, REPAIR AND PREPARE EXISTING DOOR AND FRAME FOR PRIME & PAINT AS PER MANUFACTURER RECOMMENDATIONS AS PART OF NEW WORK.

- NUMBERED DEMOLITION NOTES**
- GENERAL CONTRACTOR TO REMOVE FLOORING, INCLUDING BASE, REMOVE ALL GLUES AND RESIDUE. PREP SUBSTRATE FOR NEW FLOORING IN ACCORDANCE WITH FLOORING MANUFACTURER'S REQUIREMENTS. AT FIRST FLOOR RESTROOM, WCHA TO REMOVE EXISTING PLUMBING FIXTURES TO PREPARE FOR WORK IN THIS AREA.
 - GENERAL CONTRACTOR TO REMOVE EXISTING METAL HANDRAIL ALONG WITH END RETURNS. LIMIT DISTURBANCE AND DAMAGE TO EXISTING WALLS, HANDRAIL MOUNTING BRACKETS AND WOOD HANDRAIL MOUNTING BOARD. GC TO REPAIR ANY DAMAGE TO EXISTING CONDITIONS OR REPLACE ANY DAMAGED BRACKETS/FASTENERS DURING HANDRAIL REMOVAL. CLEAN WOOD HANDRAIL MOUNTING BOARD AND PREPARE FOR PRIMER AND PAINT. PREPARE FOR INSTALLATION OF POWDER COATED HANDRAIL AND END RETURNS AS PART OF NEW WORK WHERE INDICATED ON PLANS.
 - GENERAL CONTRACTOR TO REMOVE EXISTING CEILING TILE FROM EXISTING CEILING GRID THAT IS TO REMAIN. ENSURE THAT CARE IS TAKEN DURING REMOVAL TO ENSURE THAT NO DAMAGE TO THE GRID, SENSORS AND CEILING-MOUNTED CAMERAS OCCUR. ATTACH ACCESSORIES TO CEILING TILE AT EXISTING LOCATIONS AS PART OF NEW WORK.
 - GENERAL CONTRACTOR TO CLEAN, PATCH HOLES AND REPAIR DAMAGE TO EXISTING WALLS AND GMB CEILINGS. PREPARE WALLS AND CEILINGS FOR PRIMER AND PAINT AS PART OF NEW WORK.
 - GENERAL CONTRACTOR TO REMOVE EXISTING BLINDS ALONG WITH RELATED HARDWARE AND FASTENERS. PATCH AND REPAIR WALL TO MATCH EXISTING ADJACENT CONDITIONS AS PART OF NEW WORK.
 - ELEVATOR UPGRADES. GENERAL CONTRACTOR TO REMOVE EXISTING ELEVATOR FLOORING. REMOVE ALL GLUES AND RESIDUE. PREP SUBSTRATE FOR NEW FLOORING IN ACCORDANCE WITH FLOORING MANUFACTURER'S REQUIREMENTS. GENERAL CONTRACTOR TO REMOVE EXISTING ELEVATOR WALL PANELS ALONG WITH ALL WALL MOUNTED ACCESSORIES WITH CARE. SET ACCESSORIES ASIDE FOR INSTALLATION ON WALL PANELS AS PART OF NEW WORK. GENERAL CONTRACTOR TO CLEAN AND PREPARE FOR PRIMER AND PAINT EXISTING ELEVATOR CEILING ALONG WITH ACCESS HATCH AND DIFFUSER. INSTALLATION OF WALL PANELS, INSTALLATION OF FLOOR AND PAINTING CEILING ARE ALL PART OF NEW WORK.
 - GENERAL CONTRACTOR TO REMOVE EXISTING CORNER GUARDS ALONG WITH RETAINER, CAPS AND ALL FASTENERS. PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT CONDITIONS - PREPARE EXISTING WALL FOR PRIMER AND PAINT AS PART OF NEW WORK. PREPARE FOR INSTALLATION OF CORNER GUARDS AS PART OF NEW WORK.
 - GENERAL CONTRACTOR TO CLEAN FLOOR OF ALL DIRT, GREASE AND RESIDUE. PREP EXISTING FLOOR FOR FLOOR LEVELING MATERIAL AND NEW FLOORING IN ACCORDANCE WITH FLOORING MANUFACTURER'S REQUIREMENTS AS PART OF NEW WORK.
 - GENERAL CONTRACTOR TO REMOVE EXISTING DISPLAY CASES AND TACK BOARDS ALONG WITH RELATED HARDWARE AND FASTENERS. PATCH AND REPAIR WALL TO MATCH EXISTING ADJACENT CONDITIONS AS PART OF NEW WORK.

LEGEND		
ROOM NAME → KITCHEN		
FLOOR LEVEL → UNIT NUMBER		
◇	NUMBERED DEMOLITION NOTE	
②	NUMBERED GENERAL CONSTRUCTION NOTE	
O.H.	OPPOSITE HAND	
		
VIEW NUMBER		
SHEET NUMBER		
		
FLOORING COLOR 1 - STAGGERED JOINT PARALLEL TO WALL		
		
FLOORING COLOR 1 - STAGGERED JOINT DIAGONAL TO WALL		
		
FLOORING COLOR 2 - STAGGERED JOINT PARALLEL TO WALL		
		
FLOORING COLOR 2 - STAGGERED JOINT DIAGONAL TO WALL		
		
EXISTING CEILING GRID TO REMAIN		
		
PORCELAIN FLOOR TILE WITH PORCELAIN BASE		

- GENERAL CONSTRUCTION NOTES**
- FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO: DIMENSIONS, LOCATIONS OF PLUMBING LINES AND FIXTURES, ELECTRIC LINES AND FIXTURES AND HVAC EQUIPMENT. CONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS TO DETERMINE THE FULL SCOPE OF WORK REQUIRED.
 - DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTIONS OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK. CONTRACTORS ARE TO REFER TO THE SPECIFICATIONS FOR THE WRITTEN REQUIREMENTS FOR MATERIALS, EQUIPMENT, CONSTRUCTION SYSTEMS, STANDARDS FOR WORKMANSHIP OF THE WORK, AND PERFORMANCE OF RELATED SERVICES.
 - THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTORS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
 - DO NOT SCALE DRAWINGS.
 - ALL INTERIOR DIMENSIONS INDICATED ARE TO THE FINISHED FACE OF WALL.
 - AT AREAS OF DEMOLITION INCLUDING, BUT NOT LIMITED TO REMOVAL OF SIGNS, WALL MOUNTED FIXTURES, WALL MOUNTED ACCESSORIES, ETC., PROVIDE SEAMLESS PATCH, REPAIR AND SEAL OF EXISTING CONDITIONS. MATCH EXISTING ADJACENT MATERIALS.
 - IN ALL CASES, PROVIDE MEANS TO FURNISH AND INSTALL.
 - GENERAL CONTRACTOR TO PROVIDE TRANSITION STRIP AS REQUIRED FOR TRANSITION BETWEEN FLOORING TYPES TO ALIGN WITH EXISTING DOOR JAMB OR AT FLOORING CHANGE. ENSURE A TIGHT AND SEAMLESS JOINT.
 - GENERAL CONTRACTOR TO PROVIDE 'WCHA SPECIFIC' SIGNAGE REPLACEMENT IN KIND. GENERAL CONTRACTOR TO PROVIDE PROJECT SIGNAGE REPLACEMENT THROUGHOUT BUILDING IN ACCORDANCE TO SIGNAGE INFORMATION ON SHEET A1.01. SUBMIT ALL SIGNAGE PRIOR TO INSTALLATION TO OWNER FOR REVIEW AND APPROVAL.

- NUMBERED CONSTRUCTION NOTES**
- GENERAL CONTRACTOR TO PATCH & REPAIR EXISTING DAMAGED OR CRACKED GMB AT WALLS AND CEILINGS THROUGH OUT AREAS OF WORK. PROVIDE GMB INFILL AT DAMAGED AREAS. PROVIDE ADDITIONAL BLOCKING BETWEEN EXISTING STUDS FOR FASTENING. MATCH EXISTING ADJACENT MATERIALS TO ENSURE SEAMLESS TRANSITION. PRIME AND PAINT WALLS (EGGSHELL FINISH) AND CEILING (FLAT FINISH) INCLUDING INSULATED PIPING, CONDUIT AND WIRE MOLD AT ALL FLOORS.
 - GENERAL CONTRACTOR TO PREPARE AND PAINT EXISTING METAL HANDRAILS & EXISTING WALL MOUNTED WOOD HANDRAIL BOARD INDICATED ON PLANS. GC TO CLEAN AND PREPARE TO POWDER COAT EXISTING METAL HANDRAILS. GC TO CLEAN, PREPARE FOR PRIMER AND PAINT EXISTING WALL MOUNTED WOOD HANDRAIL BOARD. INSTALL HANDRAIL WITH EXISTING BRACKETS AT EXISTING LOCATIONS. REPLACE ANY DAMAGED HANDRAIL BRACKETS ALONG WITH MISSING OR BROKEN FASTENERS.
 - AT ALL FLOORS, GENERAL CONTRACTOR TO PRIME AND PAINT EXISTING CORRIDOR DOORS ON CORRIDOR SIDE ALONG WITH HOLLOW METAL FRAME TO INSIDE OF RABBIT, UNLESS OTHERWISE INDICATED ON PLAN. PROVIDE NEW DOOR HARDWARE AT ALL INTERIOR EXISTING DOORS.
 - GENERAL CONTRACTOR TO PRIME AND PAINT EXISTING EXTERIOR HOLLOW METAL DOORS ALONG WITH HOLLOW METAL DOOR FRAMES IN ITS ENTIRETY. EXISTING DOOR HARDWARE TO REMAIN.
 - GENERAL CONTRACTOR TO PRIME AND PAINT BOTH SIDES OF EXISTING HOLLOW METAL DOOR & FRAME AT KITCHEN, MANAGER'S OFFICE, OFFICE, RESTROOM & LAUNDRY ROOM. REPAIR DAMAGE TO DOOR AND FRAME AT LAUNDRY ROOM. PROVIDE NEW DOOR HARDWARE AT EACH EXISTING DOOR.
 - EXISTING METAL ROLL-UP DOOR AT SERVING COUNTER TO REMAIN. PRIME AND PAINT WOOD TRIM ON COMMUNITY ROOM SIDE. EXISTING DOOR HARDWARE AT SERVING WINDOW TO REMAIN.
 - GENERAL CONTRACTOR TO PRIME AND PAINT EXISTING ELEVATOR DOORS AND FRAMES ON BOTH SIDES. PROVIDE 4'-0" HIGH STAINLESS STEEL JAMB WRAPS AT EACH FLOOR ELEVATOR DOOR FRAMES AT BOTH ELEVATOR DOORS. SEE ELEVATION 4/A1.01.
 - GENERAL CONTRACTOR TO PROVIDE LVT AT ELEVATOR FLOORS. ENSURE SEAMLESS TRANSITION AT ELEVATOR THRESHOLD TO MAINTAIN ACCESSIBILITY. PRIME AND PAINT EXISTING ELEVATOR CAB WALLS PRIOR TO INSTALLATION OF WALL PANELS. GENERAL CONTRACTOR TO PROVIDE NEW WALL PANELS TO MATCH EXISTING WALL PANELS IN SIZE AND THICKNESS. PROVIDE ALL RELATED HARDWARE AND FASTENERS TO ENSURE PROPER INSTALLATION. INSTALL ALL EXISTING ACCESSORIES THAT WERE REMOVED AND SET ASIDE. PRIME AND PAINT EXISTING CEILING ALONG WITH CEILING APRON, DIFFUSER AND ACCESS PANEL.
 - GENERAL CONTRACTOR TO INSTALL LVT FLOORING AND RUBBER BASE AT AREAS INDICATED ON FLOOR PLAN. RUBBER BASE TO BE 6" BASE. PROVIDE FLOOR LEVELING MATERIAL TO ENSURE THAT ALL IMPERFECTIONS ARE SMOOTH, LEVEL AND PREPARED FOR INSTALLATION OF FLOORING AS PER MANUFACTURER'S RECOMMENDATIONS. ALLOW FOR 2 FLOOR COLOR SELECTIONS ALONG WITH PATTERN PER LEGEND BY OWNER.
 - GENERAL CONTRACTOR TO INSTALL PORCELAIN FLOOR TILE AND TILE BASE AS INDICATED ON FLOOR PLAN. PROVIDE FLOOR LEVELING MATERIAL TO ENSURE THAT ALL IMPERFECTIONS ARE SMOOTH, LEVEL AND PREPARED FOR INSTALLATION OF FLOORING AS PER MANUFACTURER'S RECOMMENDATIONS. ALLOW OWNER TWO TILE COLOR SELECTIONS FOR FLOOR TILE.
 - GENERAL CONTRACTOR TO PROVIDE CEILING TILE TO FIT INTO EXISTING CEILING GRID. ENSURE PROPER ALIGNMENT FOR SEAMLESS INSTALLATION. CEILING TILE IN COMMUNITY ROOM, LOBBY AND RESTROOM. EXISTING LIGHTING FIXTURES, DIFFUSERS, EXHAUST FANS, CEILING MOUNTED SENSORS, CEILING MOUNTED CAMERAS, ETC. ARE TO REMAIN AT EXISTING LOCATIONS - ENSURE THAT ALL ACCESSORIES ARE IN WORKING ORDER.
 - GENERAL CONTRACTOR TO PROVIDE PARTITION BULKHEAD INFILL BETWEEN THE COMMUNITY ROOM AND LOBBY. LOCATE GMB PARTITION BULKHEAD AS INDICATED ON PLANS. SECURELY ANCHOR PARTITION BULKHEAD TO THE EXISTING WALL PARTITIONS. REFER TO SECTION 5/A1.01.
 - GENERAL CONTRACTOR TO PROVIDE METAL DISPLAY CASES IN LOCATIONS OF EXISTING, UNLESS OTHERWISE INDICATED BY OWNER. GC TO PROVIDE DISPLAY BOARDS IN LOCATIONS INDICATED WITH C1A.
 - GENERAL CONTRACTOR TO PROVIDE CORNER GUARDS AT ALL WALL CORNERS WITHIN COMMUNITY ROOM, LOBBY AND CORRIDOR ON FIRST FLOOR. CORNER GUARDS TO BE 48" LENGTH AT ALL CORNERS, UNLESS EXISTING CONDITIONS INTERFERE. CORNER GUARDS AT C1A ARE TO BE 18" LONG, MOUNTED BOTH ABOVE AND BELOW HANDRAIL. CORNER GUARD AT C1A4 IS TO BE 24" LONG MOUNTED ABOVE UNIT VENTILATOR/HEATER.
 - GENERAL CONTRACTOR TO PROVIDE WINDOW SHADES. ENSURE THAT SHADE SPANS THE WIDTH & HEIGHT OF THE EXISTING WINDOW OPENING. PROVIDE ALL HARDWARE AND FASTENERS PER MANUFACTURER'S RECOMMENDATIONS.



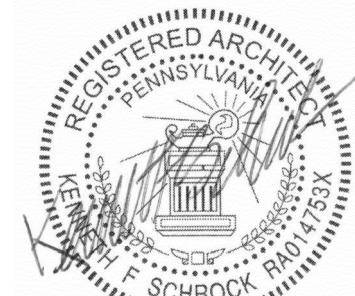
SIXTH FLOOR PLAN
A1.03 SCALE: 1/8" = 1'-0"



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VALLEY
MANOR
INTERIOR
MODERNIZATION

OWNER
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COUNTY
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AUTHORITY

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SHEET NAME

SIXTH
FLOOR
PLAN

SHEET NUMBER

A1.03